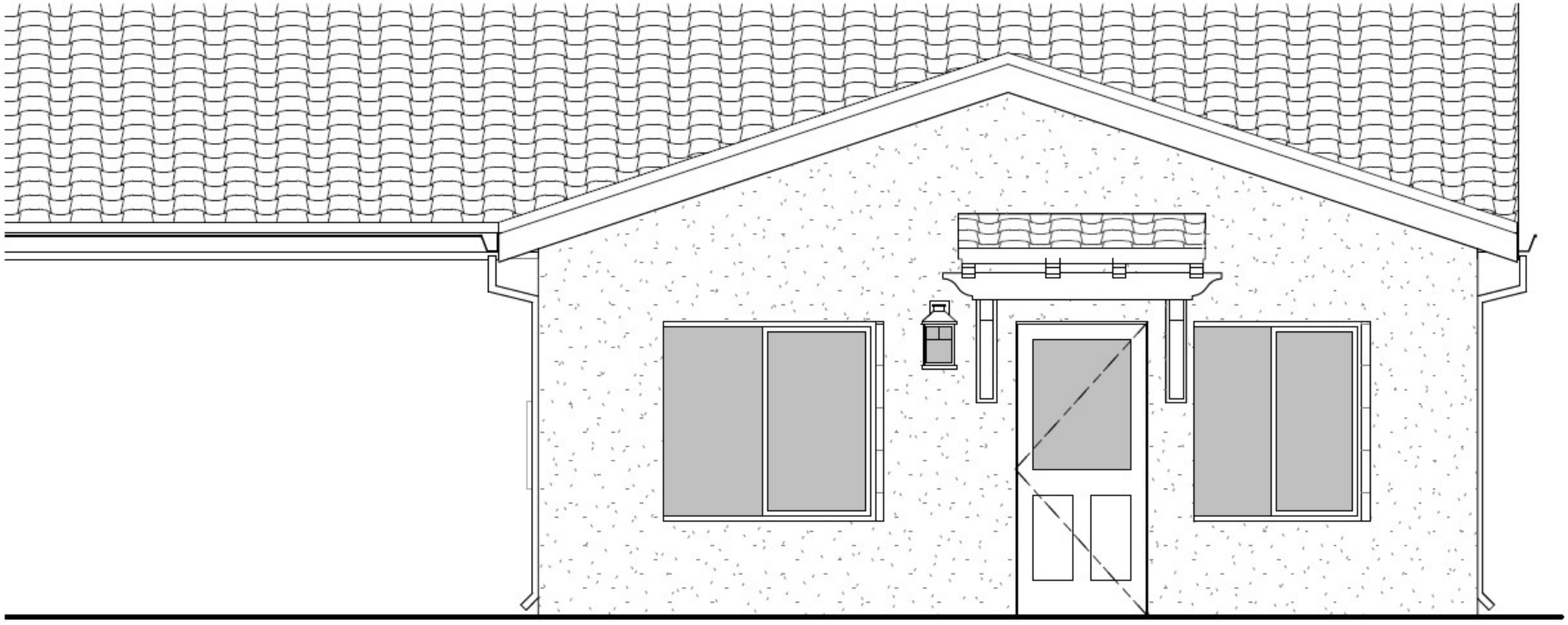


1 2 CAR GARAGE CONVERSION-FRONT-STYLE C - SPANISH

A6-101 | A6-203

SCALE: 1/4" = 1'-0"

PROTOTYPE ACCESSORY DWELLING UNIT

PLAN 6: 2 CAR GARAGE CONVERSION

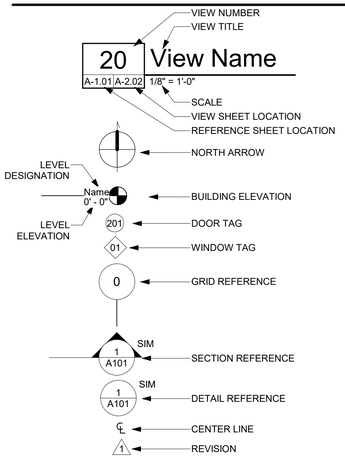
STREET ADDRESS (TO BE PROVIDED BY OWNER)

CITY OF COACHELLA, CA

ABBREVIATIONS

ABV	ABOVE
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECT
B.O.	BOTTOM OF
BALC	BALCONY
BD	BOARD
BET	BETWEEN
BLDG	BUILDING
BLKG	BLOCKING
BLW	BELOW
BM	BEAM
BOT	BOTTOM
BRKT	BRACKET
BULKHD	BULKHEAD
BUR	BUILT UP ROOF
C.G.	CORNER GUARD
CAB	CABINET
CALK	CAULKING
CEM	CEMENT
CER	CERAMIC
CJ	CONTROL JOINT
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
E	EAST
EA	EACH
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
ELEC	ELECTRIC
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EOS	EDGE OF SLAB
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EW	EACH WAY
EXP. JT.	EXPANSION JOINT
EXST	EXISTING
F.O.	FACE OF
FA	FIRE ALARM
FAP	FIRE ANNUNCIATOR PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER PANEL
FG	FINISH GROUP
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FLUOR	FLOURESCENT
FT	FOOT OR FEET
FUR	FURRING
GAL	GALLON
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GL	GLASS
GND	GROUND
GWB	GYPSUM BOARD
GYP	GYPSUM
H.W.H.	HOT WATER HEATER
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
ID	INNER DIAMETER
INCAN	INCANDESCENT
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
LAM	LAMINATE
LAV	LAVATORY
LB(S)	POUNDS
LDG	LANDING
LT	LIGHT
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
O.F.	OVERFLOW PIPE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OPPOSITE HAND
OPG	OPENING
OPP	OPPOSITE
PART	PARTITION
PERM	PERIMETER
PG	PAINT GRADE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PR	PAIR
PT	PAINT
PTD	PAINTED
R	RISER
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
RE	REFER
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RESIL	RESILIENT
RM	ROOM
RO	ROUGH OPENING
RTU	ROOF TOP UNIT (MECH)
S	SOUTH
SAFB	SOUND ATTENUATION FIBER BATT
SC	SCUPPER
SCHED	SCHEDULE
SEAL	SEALANT
SECT	SECTION
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQURE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUPSPENDED
SYM	SYMMMETRICAL
T	TREAD
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TER	TERRAZZO
THK	THICK
THR	THRESHOLD
TO	TOP OF
TYP	TYPICAL
UC	UNDERCUT
UNFIN	UNFINISHED
UNO	ULNESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED
UTIL	UTILITY
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VTR	VENT TERMINATION PIPE
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
W/O	WITHOUT
WC	WATERCLOSET
WIN	WINDOW
WP	WATERPROOF
WS	WETSTACK
WSCT	WAINSCOT
WT	WEIGHT

SYMBOLS



GENERAL NOTES

1. APPLICABLE CODES AND STANDARDS:
1.1. 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
1.2. 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
1.3. 2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
1.4. 2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
1.5. 2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
1.6. 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
1.7 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
1.8 2022 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS
1.9 CURRENT CITY OF COACHELLA, CA MUNICIPAL CODE.
2. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PROCEEDING AT HIS/HER OWN RISK.
4. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
6. CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
7. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
11. THE FOLLOWING ITEMS SHODRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
11.1. TV/DVD SYSTEMS
11.2 ICE MACHINE
11.3 VENDING MACHINE
11.4 REFRIGERATOR
11.5 MICROWAVE
12. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
13. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
14. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
15. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO INSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT.
16. OWNER TO PROVIDE LOCATION OF THE NEAREST FIRE HYDRANT. FIRE HYDRANT LOCAION SHALL MEET THE REQUIREMENTS IN THE CFC.
17. IF THE MAIN RESIDENCE HAS TWO EXISTING WATER CLOSETS, WITH THE INCLUSION OF THE ADDITIONAL WATER CLOSET IN THE ADU, THE EXISTING SEWER LATERAL SIZE IS TO BE VARIFIED TO BE 4 INCHES PER CPC TABLE 703.2.

SPECIAL INSTRUCTIONS

OWNER SHALL SUPPLY INFORMATIN ON THE FOUNDATION TYPE OF THE EXISTING BUILDING. IF THE FOUNDATION TYPE OF THE EXISTING BUILDING MATCHES THE PROPOSED FOUNDATION OF AN ADU, A SOILS REPORT WILL NOT BE REQUIRED. HOWEVER, IF A DIFFERENT FOUNDATION TYPE IS PROPOSED A SOILS REPORT WILL BE REQUIRED.

DEFERRED SUBMITTALS

1. ROOF TRUSS CALCULATIONS
2. FIRE SPRINKLER (YES / NO) (SEPARATE PLAN CHECK / PERMIT)
3. SOLAR PV (-KW) (SEPARATE PLAN CHECK / PERMIT)

PROJECT DIRECTORY

CLIENT:
_____
ADDRESS:
_____
_____
_____
PHONE: _____ **FAX:** _____
CONTACT: _____
EMAIL: _____

ARCHITECT (MODIFICATION TO PROTOTYPE):
RRM DESIGN GROUP
ADDRESS:
3765 S HIGUERA ST, SUTITE 102
SAN LUIS OBISPO, C93401
PHONE: (805) 543-1794 **FAX:** _____
CONTACT: _____
EMAIL: _____

LANDSCAPE ARCHITECT (IF APPLICABLE):
_____
ADDRESS:
_____
_____
_____
PHONE: _____ **FAX:** _____
CONTACT: _____
EMAIL: _____

CIVIL ENGINEER (IF APPLICABLE):
_____
ADDRESS:
_____
_____
_____
PHONE: _____ **FAX:** _____
CONTACT: _____
EMAIL: _____

AGENCIES AND UTILITIES

COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF COACHELLA PLANNING
ADDRESS:
53990 ENTERPRISE WAY
COACHELLA, CA 92236
PHONE: 760-398-3502 **FAX:**

WATER SERVICE:
_____
ADDRESS:
_____
_____
PHONE: _____ **FAX:** _____

GAS SERVICE:
_____
ADDRESS:
_____
_____
PHONE: _____ **FAX:** _____

TELEPHONE SERVICE:
_____
ADDRESS:
_____
_____
PHONE: _____ **FAX:** _____

ELECTRICAL SERVICE:
_____
ADDRESS:
_____ _____
PHONE: **FAX:**

SEWER SERVICE:
_____
ADDRESS:
_____ _____
PHONE: **FAX:**

GARBAGE SERVICE:
_____
ADDRESS:
_____ _____
PHONE: **FAX:**

PROTOTYPE PLANS PREPARED BY

ARCHITECT (PROTOTYPE):
RRM DESIGN GROUP
ADDRESS:
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
PHONE: (805) 543-1794 **FAX:** (805) 543-4609
CONTACT: SCOTT MARTIN
EMAIL: SAMARTIN@RRMDESIGN.COM

STRUCTURAL ENGINEER:
RRM DESIGN GROUP
ADDRESS:
3675 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
PHONE: (805) 543-1794 **FAX:** (805) 543-4609
CONTACT: JESSICA MEADOWS
EMAIL: JMMEADOWS@RRMDESIGN.COM

SHEET INDEX

Grand total: 16

PROJECT SCOPE

CONVERSION OF 2-CAR GARAGE INTO 1 BEDROOM / 1 BATH ADU.

SITE INFORMATION

OWNER TO PROVIDE THE FOLLOWING INFORMATION:

LEGAL DESCRIPTION: _____

APN #: _____

ZONING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION:

ZONING: _____

OVERLAY: _____

ALLOWABLE BUILDING HEIGHT: _____

LOT SIZE: _____

EXISTING BLDG SPRINKLERED: _____
IF YES, PROPOSED ADU MUST ALSO BE SPRINKLERED.

HABITABLE SQUARE FOOTAGE
EXISTING HABITABLE SQUARE FOOTAGE: _____
PROPOSED HABITABLE SQUARE FOOTAGE: _____

FAR (FLOOR AREA LIMIT)
EXISTING FAL: _____
MAX ALLOWABLE FAR: _____
PROPOSED FAR: _____

LOT COVERAGE
INCLUDING ALL AREAS UNDER SOLID ROOF, INCLUDING EAVES.
EXISTING LOT COVERAGE: _____
ALLOWABLE LOT COVERAGE: _____
PROPOSED LOT COVERAGE: _____

LOT SLOPE: _____

SETBACKS:
FRONT: _____
REAR: _____
SIDE: _____

PARKING REQ
EXISTING COVERED SPACES: _____
EXISTING UNCOVERED SPACES: _____
REQUIRED PARKING: _____
COVERED: _____
UNCOVERED: _____
PROPOSED TOTAL SPACES: _____
COVERED: _____
UNCOVERED: _____

ADU BUILDING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION:

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: VB

CONDITINED AREA:

PLAN 6-EXISTING FOOTPRINT OF GARAGE, AS SHOWN IN VIEW 1/A8-101	672 SF

PROJECT CHECKLIST

*FOR PLANNING STAFF ONLY

INITIAL WHEN SECTION HAS BEEN REVIEWED. STAFF INITIALS: _____

EXTERIOR WALL MATERIAL
NEW INFILL SIDING SHALL MATCH EXISTING PRINCIPAL DWELLING

WINDOW MATERIAL
COLOR AND STYLE TO MATCH EXISTING HOME

- ☐ VINYL
- ☐ FIBERGLASS
- ☐ WOOD
- ☐ ALUMINUM CLAD WOOD

ROOF MATERIAL
COLOR AND STYLE TO MATCH EXISTING HOME

- ☐ COMPOSITION SHINGLES
- ☐ STANDING SEAM METAL ROOF

WASTE WATER
- ☐ SEWER

ONSITE PARKING REQUIRED
- ☐ NONE

EXCEPTION USED:

- ☐ THE ADU IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT.
- ☐ THE ADU IS LOCATED WITHIN A ARCHITECTURALLY AND HISTORICALLY SIGNIFICANT STRUCTURE.
- ☐ OFF STREET PARKING PERMITS ARE REQUIRED BUT NOT OFFERED TO THE OCCUPANT OF THE ADU.
- ☐ WHEN THERE IS A CAR SHARE VEHICLE LOCATED WITHIN ONE BLOCK OF THE ADU.

- ☐ ONE PARKING SPACE

VERY HIGH FIRE SEVERITY ZONE
- ☐ NO
- ☐ YES

IF THE PROPERTY THAT WILL CONTAIN THE ADU IS IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SEE NOTES BELOW:
1. AN ADU IN THE VERY HIGH FIRE SEVERITY ZONE SHALL COMPLY WITH CHAPTER 7A OF THE CURRENT CALIFORNIA BUILDING CODE.
2. STRUCTURES IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL PROVIDE & MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE & MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE/FUEL BREAKS SHALL BE SHOWN ON THE GRADING, MAP, AND BUILDING PLANS.
3. USE FIRE RATED ASSEMBLY ALTERNATIVE AS SHOWN IN ROOF FRAMING DETAILS AS REFERENCED ON PLANS.
4. USE RATED WALL ASSEMBLIES (34/AD-902, 24/AD-10\902)
5. *THE INTENSITY OF FUELS MANAGEMENT MAY VARY WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE. WITH MORE INTENSE FUEL REDUCTIONS BEING USED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE, AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 FEET OF THE STRUCTURE ACCORDING TO GOVERNMENT CODE 51182. THE EMBER RESISTANT ZONE FOR THE ADU SHALL BE SEPARATE FROM THE 5-FOOT EMBER RESISTANCE ZONE OF THE EXISTING STRUCTURE. THE DEFENSIBLE SPACE PLAN AND VEGETATION MANAGEMENT SHALL BE REVIEWED BY THE CITY OF NEWPORT BEACH FIRE DEPARTMENT.*
6. *VERIFY COMPLIANCE WITH YOUR INSURANCE UNDERWRITER PRIOR TO CONSTRUCTION OF THE ADU.*

FIRE SPRINKLERS
DOES THE PRIMARY RESIDNENCE HAVE NFPA 13D SPRINKLERS?

- ☐ **NO**
- ☐ **YES**

REQUIRED AT PROPOSED ADU:

- ☐ **NO** (NOT REQUIRED IF THE PRIMARY RESIDENCE IS UNSPRINKLERED
- ☐ **YES** (REQUIRED IF THE PRIMARY RESIDENCE IS SPRINKLERED

FIRE SPRINKLERS NOTES
1. FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.
2. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.
3. DEFERRED SUBMITTAL: OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
4. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.
5. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS.
6. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
7. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION.

LIQUIFICATION AREA
THE PRIMARY RESIDENCE LOCATED WITHIN A DESIGNATED LIQUIFICTION ZONE?

- ☐ NO
- ☐ YES

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED, IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

TITLE SHEET - PLAN 6

PUBLIC SET

DATE
01/11/24

SHEET
G-006

1/19/2024 9:55:07 AM
Autosave Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt

FLOOR PLAN NOTES

1. **WEATHER BARRIERS.**
   a. NOT FEWER THAN ONE-LAYER WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS CONTINUOUS FROM TOP OF WALS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES WITH FLASHING. MINIMUM NO. 15 FELT COMPLYING WITH ASTM D226, TYPE 1.
   b. PROVIDE (2) LAYERS OF GRADE D PAPER OR EQUAL WHEN PLASTER IS INSTALLED OVER WOOD BASED SHEATHING. *(2022 CRC R703.7.3)*
2. **DOMESTIC RANGE** VENTILATION DUCTS SHALL HAVE SMOOTH INTERIOR SURFACES. (2022 CMC 504.3)
3. **CLOTHES DRYER** MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" W/ TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. MIN. DIA. 4", SMOOTH, METAL DUCT.*(2022 CMC 504.4)*
4. **ALL MANUFACTURED EQUIPMENT** SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION AND DIMENSIONS VERIFIED WITH INSTALLATION REQUIREMENTS. ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHOULD BE ON SITE AND SHALL BE SEISMICALLY ANCHORED FOR INSPECTIONS.
5. **SHOWERS AND TUB-SHOWER COMBINATIONS:** CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. *(2022 CPC 417.0.)*
6. **WET-ROOM GLAZING.** PROVIDE TEMPERED GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, SAUNAS, STEAM ROOMS, HOT TUBS & SIMILAR USES WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60-INCHES ABOVE A STANDING SURFACE. *(2022 CRC R308.4.5)*
7. **HEATING AND AIR-CONDITIONING SYSTEM DESIGN** SHALL CONFORM TO CALGREEN SEC. 4.507, ENVIRONMENTAL COMFORT.
8. **WATER CLOSETS.**
   a. CLEARANCES: 24" MIN. FRONT, 30" MIN COMPARTMENT WIDTH.
   b. PROVIDE A MIN 3 SF WINDOW, 1/2 OF WHICH SHALL BE OPENABLE OR AN EXHAUST FAN 50 CFM FOR INTERMITTENT OR 20 CFM FOR CONTINUOUS. DIRECT VENT TO OUTSIDE WITH BACKDRAFT DAMPER. *(2022 CRC R303.3)*
   c. NEW WATER CLOSETS AND ASSOCIATED FLUSHOMETER VALVES, IF ANY SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS STANDARD A112.19.2. H & S CODE, SECTION 17921.3(B).
9. **BATH ACCESSORIES:** PROVIDE MINIMUM 1 TOILET PAPER HOLDER AND 1 TOWEL BAR PER BATHROOM. PROVIDE NECESSARY BLOCKNG FOR TOILET PAPER HOLDER AND TOWEL BARS.
10. **ATTIC ACCESS:**
    a. WHERE REQUIRED, PROVIDE 30" MIN. HEADROOM IN THE ATTIC SPACE (2022 CRC R807.1)
    b. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30-INCHES OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.
    c. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE LOCATED NOT OVER 20 FEET FROM THE EQUIPMENT. (2022 CRC R807.1)
    d. IN ATTIC, PROVIDE LIGHT AND SWITCH, AND ALL NECESSARY ELECTRICAL. PROVIDE UNOBSTRUCTED PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT AND IT'S CONTROLS. ALSO PROVIDE UNOBSTRUCTED WORK SPACE IN FRONT OF EQUIPMENT 30" DEPTH MINIMUM. PROVIDE COMBUSTION AIR AND CONDENSATE LINE TO OUTSIDE OR AN APPROVED DRAIN FOR OPTIONAL AIR CONDITIONING.
    e. PROVIDE A 120V RECEPTACLE AND A LIGHT NEAR THE EQUIPMENT WITH LIGHT SWITCH LOCATED AT THE ATTIC ACCESS.
12. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER 2022 CRC, SECTION R307.2.

SITE NOTES

1. **CALL BEFORE YOU DIG!** CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. UNLESS OTHERWISE NOTED ON THE PLANS, FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY WITHIN 10-FEET OF ANY BUILDING FOUNDATION WITH A SLOPE OF 5% AWAY FROM ANY BUILDING OR STRUCTURE. ALL EXTERIOR HARDSCAPE WITHIN 10-FEET OF A BUILDING FOUNDATION SHALL BE INSTALLED WITH A 2% MINIMUM SLOPE AWAY FROM ANY BUILDING OR STRUCTURE. DRAINAGE SWALES SHALL BE A 1.5% MINIMUM SLOPE. ALL GRADED SLOPES SHALL HAVE A MAXIMUM SLOPE OF 3H TO 1V (33%), UNLESS SHOWN OTHERWISE ON THE PLANS.
3. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
4. NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND DIRECT RUNOFF TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
5. CONTRACTOR TO FIELD VERIFY EXISTING DRAINAGE. IF THE EXISTING DRAINAGE SYSTEM IS DAMAGED DURING EXCAVATION, CONTRACTOR SHALL REPAIR AND/OR REROUTE DRAINAGE SYSTEM AND CONNECT TO EXISTING DRAINAGE FACILITY AS NECESSARY.
6. EXISTING PUBLIC IMPROVEMENTS THAT ARE DAMAGED BY THE PROJECT CONSTRUCTION SHALL BE REPAIRED OR REPLACED. EXISTING DAMAGED PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS SHALL BE REPAIRED OR REPLACED EVEN IF THE DAMAGE OCCURRED PRIOR TO THE START OF CONSTRUCTION.
7. EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO OCTOBER 1 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 30. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT-FREE STORM WATERS INTO EXISTING STORM DRAIN FACILITIES. EROSION AND SEDIMENT CONTROL SUPPLIES MUST BE KEPT ON-SITE DURING THE DRY SEASON AND EMPLOYED, AS NECESSARY PRIOR TO AND DURING RAIN EVENTS.
8. SEASONALLY APPROPRIATE BEST MANAGEMENT PRACTICES FOR THE FOLLOWING SITE MANAGEMENT CATEGORIES MUST BE IMPLEMENTED YEAR-ROUND: 1) EROSION CONTROL; 2) RUN-ON AND RUN-OFF CONTROL; 3) SEDIMENT CONTROL; 4) GOOD SITE MANAGEMENT; AND 5) NON-STORMWATER MANAGEMENT.
9. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY CONSTRUCTION ACTIVITY WITHIN A PUBLIC STREET RIGHT OF WAY THAT HAS BEEN ACCEPTED BY THE CITY.

ELECTRICAL NOTES

1. CONFORM WITH CURRENT CEC, NFPA, MFR'S, AND LOCAL REQUIREMENTS.
2. ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER NEC ARTICLE 250-81.
3. ALL MATERIALS TO BE U.L. LABELED.
4. METER: "SQUARE D", 120 VOLT/ 240 VOLT, 1 AND 3 WIRE GROUND OR EQUAL.
5. ELECTRICAL SUB PANEL: FLUSH MOUNT, 30" CLEARANCE. 100 AMP.
6. CONDUCTORS: TW, THW, COPPER, MINIMUM 14 AT LIGHTING, 12 AT OTHER CIRCUITS.
7. ALL LUMINARIES SHALL COMPLY WITH 2022 CENC SECTION 150.0 (K) AND TABLE 150.0-A AS REFERENCED IN ENERGY NOTES, LUMINAIRE REQUIREMENTS SHEET G-101.
8. ALL ELECTRICAL OUTLETS INSTALLED IN BATHROOMS, GARAGES, BASEMENTS, CRAWL SPACES, OUTDOORS, KITCHEN COUNTERS, AND AT WET BAR SINKS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION IN COMPLIANCE WITH NEC Art. 210-8, CONSISTING OF 125 VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES.
9. ALL BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS DEDICATED CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. (2022 CEC 210.11(C))
10. THERMOSTAT SHALL BE A PROGRAMMABLE TYPE, HONEYWELL TH8320 OR EQUAL.
11. CEILING-SUSPENDED (PADDLE) FANS SHALL BE SUPPORTED INDEPENDENTLY OF AN OUTLET BOX OR BY LISTED OUTLET BOX OR OUTLET BOX SYSTEMS IDENTIFIED FOR THE USE AND INSTALLED IN ACCORDANCE WITH 2022 CEC 314.27(C) (2022 CEC 422.18).
12. ALL LUMINARIES, LAMPHOLDERS, AND RETROFIT KITS SHALL BE LISTED (2022 CEC 410.6).
13. ALL 120-VOLT, SINGLE PHASE 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (2022 CEC 210-12(A)).
14. ALL NON-LOCKING TYPE 125-VOLT, 15 AND 20 AMPERE RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. EXCEPTIONS: (1) RECEPTACLES MORE THAN 5'6" ABOVE THE FLOOR, (2) RECEPTACLES PART OF A LUMINAIRE OR APPLIANCE, (3) A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES THAT ARE NOT EASILY MOVED AND LOCATED WITHIN DEDICATED SPACE AND ARE CHORD-AND-PLUG CONNECTED AS PER CEC 400.10, AND (4) NON-GROUNDING RECEPTACLES USED FOR REPLACEMNETS AS PERMITTED IN CEC 406.4(D)(2)(A).
15. HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID LIGHTING CONTAIN ONLY ONLY HIGH EFFICACY LAMPS AS OUTLINED IN TABLE 150-C OF THE RESIDENTIAL ENERGY CODE AND NOT CONTAIN A MEDIUM SCREW BASE SOCKET.
16. BALLAST FOR LAMPS 13 WATTS OR GREATER SHALL BE ELECTRONIC AND HAVE AN OUTPUT FREQUENCY NO LESS THAT 20 kHz.
17. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND PROVIDED WITH A BATTERY BACK-UP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTEED. ALL SMOKE DETECTORS SHALL MAINTAIN A MINIMUM 3 FOOT CLEARANCE TO HVAC SUPPLY OR RETURN AIR REGISTERS.
18. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND PROVIDED WITH A BATTERY BACK-UP. ALL CARBON MONOXIDE ALARAMS SHALL BE INTERCONNECTEED.
19. EXHAUST FANS WILL BE CONTROLLED BY A HUMIDISTAT PER THE GREEN BUILDING STANDARDS CODE SECTION 4.506. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTS *(2022 CEnC 150.0(k)2G).*
20. IN ADDITION TO THE NUMBER OF BRANCH CIRCUTS REQUIRED BY OTHER PARTS OF THE CODE, TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUTS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREA PER 2022 CEC, ARTICLE 210.11 (C)(1). THE CIRCUTS SHALL HAVE NO OTHER OUTLETS PER 2022 CEC, ARTICLE 210.52(B).
21. IN ADDITION TO THE NUMBER OF BRANCH CIRCUTS REQUIRED BY OTHER PARTS OF THE CODE, AT LEAST ONE ADDITIONAL 20-AMPERE BRANCH CIRCUT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S) REQUIRED BY 2022 CEC, ARTICLE 210.52 (F). THIS CIRCUT SHALL HAVE NO OTHER OUTLETS PER 2022 CEC, ARTICLE 201.11(C)(2).

ENERGY NOTES

1. THE BUILDER MUST PROVIDE NEW HOMEWONERS WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF INSTALLED LAMPS AND LUMINARIES.

LUMINAIRE REQUIREMENTS *(2022 CEnC 150.0(k)1)*.

A. **LUMINAIRE EFFICACY.** ALL INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS IN TABLE 150.0-A.
   EXCEPT: *INTEGRATED DEVICE LIGHTING. LIGHTING INTEGRAL TO EXHAUST FANS, KITCHEN RANGE HOODS, BATH VANITY MIRRORS AND GARAGE DOOR OPENERS. NAVIGATION LIGHTING: SUCH AS NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS LESS THAN 5 WATTS. CABINET LIGHTING: LIGHTING INTERNAL TO DRAWERS, CABINETRY AND LINEN CLOSETS WITH AN EFFICACY OF 45 LUMENS PER WATT OR GREATER.*
   THE FOLLOWING ARE HIGH-EFFICACY LIGHT SOURCES PER TABLE 150.0-A:
   THE FOLLOWING LIGHT SOURCES, OTHER THAN THOSE INSTALLED IN CEILING RECESSED DOWNLIGHT LUMINAIRES, ARE NOT REQUIRED TO COMPLY WITH REFERENCE JOINT APPENDIX JA8:
   1. *LED LIGHT SOURCES INSTALLED OUTDOORS.*
   2. *INSEPARABLE SOLID STATE LIGHTING (SSL) LUMINAIRES CONTAINING COLORED LIGHT SOURCES THAT ARE INSTALLED TO PROVIDE DECORATIVE LIGHTING.*
   3. *PIN-BASED LINEAR FLUORESCENT OR COMPACT FLUORESCENT LIGHT SOURCES USING ELECTRONIC BALLASTS.*
   4. *HIGH INTENSITY DISCHARGE (HID) LIGHT SOURCES INCLUDING PULSE START METAL HALIDE AND HIGH PRESSURE SODIUM LIGHT SOURCES.*
   5. *LUMINAIRES WITH HARDWIRED HIGH FREQUENCY GENERATOR AND INDUCTION LAMP.*
   6. *CEILING FAN LIGHT KITS SUBJECT TO FEDERAL APPLIANCE REGULATIONS.*

   THE FOLLOWING LIGHT SOURCES ARE ONLY CONSIDERED TO BE HIGH EFFICACY IF THEY ARE CERTIFIED TO THE COMMISSION AS HIGH EFFICACY LIGHT SOURCES IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND MARKED AS REQUIRED BY JA8:
   1. *ALL LIGHT SOURCES INSTALLED IN CEILING RECESSED DOWNLIGHT LUMINAIRES. NOTE THAT CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE SCREW BASES REGARDLESS OF LAMP TYPE AS DESCRIBED IN SECTION 150.0(K)1C.*
   2. *ANY LIGHT SOURCE NOT OTHERWISE LISTED.*

B. **SCREW-BASED LUMINAIRES.** SCREW-BASED LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8.

C. **RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.** LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
   1. SHALL NOT CONTAIN SCREW BASE LAMP SOCKETS; AND
   2. HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN HOUSING WITH INTEGRAL LIGHT SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
   3. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK, OR BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN AIRTIGHTNESS BETWEEN THE LUMINAIRE HOUSING AND CEILING; AND
   4. MEET THE CLEARANCE AND INSTALLATION REQUIREMENTS OF CALIFORNIA ELECTRICAL CODE SECTION 410.116 FOR RECESSED LUMINAIRES.
      EXCEPT: *RECESSED LUMINAIRES MARKED FOR USE IN FIRE-RATED INSTALLATIONS EXTRUDED INTO CEILING SPACE AND RECESSED LUMINAIRES INSTALLED IN NONINSULATED CEILINGS.*

ENERGY NOTES CONTINUED

D. **LIGHT SOURCES IN ENCLOSED OR RECESSED LUMINAIRES.** LAMPS AND OTHER SEPARABLE LIGHT SOURCES THAT ARE NOT COMPLIANT WITH THE JA8 ELEVATED TEMPERATURE REQUIREMENTS, INCLUDING MARKING REQUIREMENTS, SHALL NOT BE INSTALLED IN ENCLOSED OR RECESSED LUMINAIRES.

E. **BLANK ELECTRICAL BOXES.** THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, LOW VOLTAGE WIRING OR FAN SPEED CONTROL.

INDOOR LIGHTING CONTROLS *(2022 CEnC 150.0(k)2)*.

A. LIGHTING SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY TURNED ON AND OFF.
   EXCEPT: *CEILING FANS MAY PROVIDE CONTROL OF INTEGRATED LIGHTING VIA A REMOTE CONTROL.*

A. NO CONTROLS SHALL BYPASS A DIMMER, OCCUPANT SENSOR OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).

B. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 110.9.

C. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) OR A MULTISCENE PROGRAMMABLE CONTROL MAY BE USED TO COMPLY WITH DIMMING, OCCUPANCY AND LIGHTING CONTROL REQUIREMENTS IN SECTION 150.0(K)2 IF IT PROVIDES THE FUNCTIONALITY OF THE SPECIFIED CONTROLS IN ACCORDANCE WITH SECTION 110.9, AND THE PHYSICAL CONTROLS SPECIFIED IN SECTION 150.0(K)2A.

D. **AUTOMATIC-OFF CONTROLS.**
   1. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY.
   2. FOR LIGHTING INTERNAL TO DRAWERS AND CABINETRY WITH OPAQUE FRONTS OR DOORS, CONTROLS THAT TURN THE LIGHT OFF WHEN THE DRAWER OR DOOR IS CLOSED SHALL BE PROVIDED.

E. **DIMMING CONTROLS.** LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT LIMITED TO LIVING ROOMS, DINING ROOMS, KITCHENS AND BEDROOMS, SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN. FORWARD PHASE CUT DIMMERS CONTROLLING LED LIGHT SOURCES IN THESE SPACES SHALL COMPLY WITH NEMA SSL 7A.
   EXCEPT: *CEILING FANS MAY PROVIDE CONTROL OF INTEGRATED LIGHTING VIA A REMOTE CONTROL. LUMINAIRES CONNECTED TO A CIRCUIT WITH CONTROLLED LIGHTING POWER LESS THAN 20 WATTS OR CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. NAVIGATION LIGHTING SUCH AS NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS LESS THAN 5 WATTS, AND LIGHTING INTERNAL TO DRAWERS AND CABINETRY WITH OPAQUE FRONTS OR DOORS OR WITH AUTOMATIC-OFF CONTROLS.*

F. **INDEPENDENT CONTROLS.** INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY FROM THE FANS. THE FOLLOWING SHALL BE CONTROLLED SEPARATELY FROM CEILING-INSTALLED LIGHTING SUCH THAT ONE CAN BE TURNED ON WITHOUT TURNING ON THE OTHER:
   1. UNDERCABINET LIGHTING, UNDERSHELF LIGHTING, INTERIOR LIGHTING OF DISPLAY CABINETS, AND SWITCHED OUTLETS.

RESIDENTIAL OUTDOOR LIGHTING *(2022 CEnC 150.0(k)3)*. IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 150.0(K)1A, LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:

A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM I AND THE REQUIREMENTS IN EITHER ITEM II OR ITEM III:
   1. CONTROLLED BY A MANUAL ON AND OFF CONTROL SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
   2. CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
   3. CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL.
      NOTE: CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS. AN ENERGY MANAGEMENT CONTROL SYSTEM THAT PROVIDES THE SPECIFIED LIGHTING CONTROL FUNCTIONALITY AND COMPLIES WITH ALL REQUIREMENTS APPLICABLE TO THE SPECIFIED CONTROLS MAY BE USED TO MEET THESE REQUIREMENTS.

1. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION (2022 CEnC 110.7).
2. ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE (2022 CEnC 150.0(a)2)

PLUMBING NOTES

1. CONFORM WITH CURRENT CPC AND LOCAL REQUIREMENTS.
   PIPING:
2. DOMESTIC WATER (WITHIN BUILDING): COPPER OR PEX PIPE OR APPROVED EQUAL.
3. AIR CHAMBERS: 12" LONG CAPPED NIPPLE AT END OF EACH BRANCH TO EACH FIXTURE.
4. DIELECTRIC UNIONS "F.P.C.O." REQUIREMENT AT ALL DISSIMILAR MATERIAL CONNECTIONS.
5. WHEN "OPTIONAL" SOFT-WATER LOOP INTALLED, PROVIDE WITH 2 GATE VALVES.
6. WATER SERVICE PIPE SHALL BE PER CIVIL PLANS OR AS REQUIRED BY THE JURISDICTION.
7. WATER METER: PER WATER DISTRICT (REFER SIZE W/ FIRE SPRINKLER PLANS IF APPLICABLE)
8. SHOWER HEADS AND FAUCETS: FLOW RATES PER 2022 *CGBSC SECTION 4.303*.
9. **WATER HEATER** (REFER TO BUILDING ENERGY ANALYSIS REPORT):
   A. ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED. *(2022 CPC 609.12.1)*
      1. PIPES UP TO 2 INCHES IN DIAMETER: INSULATION WALL THICKNESS NOT LESS THAN DIAMETER OF PIPE. *(2022 CPC 609.12.2)*
      2. PIPES GREATER THAN 2 INCHES IN DIAMETER: INSULATION WALL THICKNESS NOT LESS THAN 2 INCHES. *(2022 CPC 609.12.2)*
      EXCEPTIONS:
      1. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. *(2022 CPC 609.12.2)*
      2. HOT WATER PIPING BETWEEN THE FIXTURE CONTROL VALVE OR SUPPLY STOP AND THE FIXTURE OR APPLIANCE SHALL NOT BE REQUIRED TO BE INSULATED. *(2022 CPC 609.12.2)*
   B. PROVIDE A TEMPERATURE AND PRESSURE RELIEF VALVE WITH A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MINIMUM @ 2' MAX. ABOVE GRADE POINTING DOWNWARD TO THE TERMINATION - UNTHREADED.
   C. COMBUSTION AIR PER MANUFACTURE REQUIREMENTS.
   D. CLEARANCES PER MANUFACTURE REQUIREMENTS.
10. **PLUMBING INSULATION** PER 2022 CENC 150.0 (J) AND CBC 609.11
   A. DOMESTIC HOT WATER PIPING SHALL BE INSULATED.
   B. HOT WATER PIPE INSULATION SHALL HAVE A MINIMUM WALL THICKNESS OF NOT LESS THAN THE DIAMETER OF THE PIPE FOR A PIPE UP TO 2 INCHES (50 MM) IN DIAMETER. INSULATION WALL THICKNESS SHALL BE NOT LESS THAN 2 INCHES (51 MM) FOR A PIPE OF 2 INCHES (50 MM) OR MORE IN DIAMETER.
      1. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION.
      2. HOT WATER PIPING BETWEEN THE FIXTURE CONTROL VALVE OR SUPPLY STOP AND THE FIXTURE OR APPLIANCE SHALL NOT BE REQUIRED TO BE INSULATED.
   C. SERVICE WATER HEATING SYSTEMS PIPING TO INCLUDE.
      1. RECIRCULATING SYSTEM PIPING, INCLUDING THE SUPPLY AND RETURN PIPING TO THE WATER HEATER.
      2. THE FIRST 8 FEET OF HOT AND COLD OUTLET PIPING, INCLUDING PIPING BETWEEN A STORAGE TANK AND A HEAT TRAP, FOR A NON-RECIRCULATING STORAGE SYSTEM.
      3. PIPES THAT ARE EXTERNALLY HEATED.
      SHALL BE INSULATED AS FOLLOWS:
      UP TO 1" PIPE DIAMETER TO HAVE 1.0 MIN THICKNESS OR R7/7 RATING PER CENC TABLE 120.3A
      EXCEPTIONS:
      1. FACTORY-INSTALLED PIPING WITHIN SPACE-CONDITIONING EQUIPMENT CERTIFIED UNDER SECTION 110.1 OR 110.2.
      2. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. METAL PIPING THAT ENETRATES METAL FRAMING SHALL USE GROMMETS, PLUGS, WRAPPING OR OTHER INSULATING MATERIAL TO ASSURE THAT NO CONTACT IS MADE WITH THE METAL FRAMING.
      3. PIPING INSTALLED IN INTERIOR OR EXTERIOR WALLS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION IF ALL OF THE REQUIREMENTS ARE MET FOR COMPLIANCE WITH QUALITY INSULATION INSTALLATION (QII) AS SPECIFIED IN THE REFERENCE RESIDENTIAL APPENDIX RA3.5.
      4. PIPING SURROUNDED WITH A MINIMUM OF 1 INCH OF WALL INSULATION, 2 INCHES OF CRAWLSPACE INSULATION, OR 4 INCHES OF ATTIC INSULATION SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION.
11. **INSULATION PROTECTION**. PIPE INSULATION SHALL BE PROTECTED FROM DAMAGE DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND. PROTECTION SHALL, AT MINIMUM, INCLUDE THE FOLLOWING (2022 CEC SECTION 120.3(B)):
   A. PIPE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED BY A COVER SUITABLE FOR OUTDOOR SERVICE. THE COVER SHALL BE WATER RETARDANT AND PROVIDES SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE SHALL NOT BE USED TO PROVIDE THIS PROTECTION.
   B. PIPE INSULATION COVERING CHILLED WATER PIPING AND REFRIGERANT SUCTION PIPING LOCATED OUTSIDE THE CONDITIONED SPACE SHALL INCLUDE, OR BE PROTECTED BY, A CLASS I OR CLASS II VAPOR RETARDER. ALL PENETRATIONS AND JOINTS SHALL BE SEALED.
   C. PIPE INSULATION BURIED BELOW GRADE MUST BE INSTALLED IN A WATER PROOF AND NONCRUSHABLE CASING OR SLEEVE.
12. PIPE INSULATION: REFER TO TITLE 24 - MANDATORY MEASURES - "SPACE CONDITIONING, WATER HEATING & PLUMBING SYSTEM MEASURES"
13. STRAPS AND HANGERS: PROVIDE AS NECESSARY TO INSURE A STABLE INSTALLATION. SEE TITLE-24 FOR WATER HEATER REQUIREMENTS.
14. ALL HOSE BIBS SHALL HAVE APPROVED BACK FLOW PREVENTION DEVICES.
15. PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN CALGREEN TABLE 4.303.3.
16. WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE. PER [2022 CPC 505.2] THE RELIEF VALVE SHALL BE PROVIDED WITH A DRAIN LINE WHICH EXTENDS FROM THE VALVES TO THE OUTSIDE OF THE BUILDING. PER [2022 608.5 CPC]
17. PER 2022 CPC 603.5.7 OUTLETS WITH HOSE ATTATCHMENTS. POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, OTHER THAN WATER HEATER DRAINS, BOILER DRAINS, AND CLOTHES WASHER CONNECTIONS, SHALL BE PROTECTED BY A NONREMOVABLE HOSE BIBB TYPE BACKFLOW PREVENTER, A NONREMOVABLE HOSE BIBB TYPE VACUMM BREAKER, OR BY AN ATMOSPHERE VACUUM BREAKER INSTALLED NOT LESS THAN 6 INCHES ABOVE THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE. IN CLIMATES WHERE FREEZING TEMPERATURES OCCUR, A LISTED SELF DRAINING FROST-PROOF HOSE BIBB WITH AN INTEGRAL BACKFLOW PREVENTER OR VACUUM BREAKER SHALL BE USED.

GENERAL NOTES

1. APPLICABLE CODES AND STANDARDS:
1.1. 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
1.2. 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
1.3. 2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
1.4. 2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
1.5. 2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
1.6. 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
1.7 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
1.8 2022 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS
1.9 CURRENT CITY OF COACHELLA, CA MUNICIPAL CODE.
2. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PROCEEDING AT HIS/HER OWN RISK.
4. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
6. CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
7. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
11. THE FOLLOWING ITEMS SHODRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
11.1. TV/DVD SYSTEMS
11.2 ICE MACHINE
11.3 VENDING MACHINE
11.4 REFRIGERATOR
11.5 MICROWAVE
12. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
13. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
14. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
15. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO INSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT.
16. OWNER TO PROVIDE LOCATION OF THE NEAREST FIRE HYDRANT. FIRE HYDRANT LOCAION SHALL MEET THE REQUIREMENTS IN THE CFC.
17. IF THE MAIN RESIDENCE HAS TWO EXISTING WATER CLOSETS, WITH THE INCLUSION OF THE ADDITIONAL WATER CLOSET IN THE ADU, THE EXISTING SEWER LATERAL SIZE IS TO BE VARIFIED TO BE 4 INCHES PER CPC TABLE 703.2.

MECHANICAL NOTES

1. CONFORM WITH CURRENT ADOPTED CRC, CMC, SMACCNA, NFPA AND LOCAL REQUIREMENTS.
2. DUCTWORK: SMACCNA "LOW VELOCITY DUCT CONSTRUCTION" NFPA STANDARD #90A. ALL TRANSVERSE DUCT PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE NON-CLOTH TAPE MEETING THE REQUIREMENTS OF UL181, 181A, OR 181B, OR MASTIC TO PREVENT AIR LOSS. DUCTS SHALL BE INSULATED AS REQUIRED BY THE UMC. SEE FLOOR PLAN FOR F.A.U. AND FIREPLACES. DUCTS PENETRATING A WALL OR FLOOR-CEILING BETWEEN GARAGE & DWELLING TO BE MINIMUM 26 GAUGE METAL WITHOUT OPENING IN GARAGE. FIRE DAMPER REQUIRED OTHERWISE.
3. GRILLES AND REGISTERS, DIFFUSERS, ETC: SUBJECT TO OWNERS APPROVAL. "CARNES" OR EQUAL FANS: DIRECTLY VENTED TO OUTSIDE, BACK DRAFT DAMPERS ARE REQUIRED (PER TABLE 2-53V, TITLE 24 C.A.C.).
4. LAUNDRY DRYER VENT TO EXTERIOR TO BE 14 FEET MAXIMUM, LESS 2 FEET PER 90 DEGREE TURN PER CMC 504.3.2.2. IF VENT IS OVER 14' AN APPROVED POWER ASSISTED DEVICE IS REQUIRED. DRYER EXHAUST DUCT POWER VENTILATORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 705 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PER 2022 CMC, SECTION 504.2.2.3. SEE NOTE BELOW.
5. BATHROOM EXHAUST FANS (BATHROOM APPLIES TO ROOMS CONTAINING BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION) WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING *(2022 CGBSC SEC. 4.506.1)*:
   a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING MIN 3' FROM OPENINGS.
   b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
      - HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
      - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL(I.E. BUILT IN)
6. BATHROOM EXHAUST FANS SHALL PROVIDE MINIMUM 50 CFM EXHAUST RATE *(2022 CMC TABLE 403.7)*.
7. KITCHEN EXHAUST FANS SHALL PROVIDE MINIMUM 100 CFM EXHAUST RATE *(2022 CMC TABLE 403.7)*

WINDOWS

a. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
   - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET (0.836 M2).
   - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
   - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
   - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

GENERAL NOTES

PUBLIC SET

DATE
01/11/24

SHEET
G-102

BUILDING ENERGY ANALYSIS REPORT

PROJECT:
Coachella ADUs (Plan 6-Conversion)

Coachella, CA

Project Designer:
RRM Design Group
3765 South Higuera St. Suite 102
San Luis Obispo, CA 93401
(805) 543-1794

Report Prepared by:
Timothy Carstairs, CEA, HERS, GPR
Carstairs Energy Inc.
2238 Bayview Heights Drive, Suite E
Los Osos, CA 93402
805-904-9048

CARSTAIRS ENERGY

Job Number:
23-082810

Date:
8/28/2023

TABLE OF CONTENTS

GENERAL INFORMATION					
01	Project Name	Coachella ADUs (Plan 6-Conversion)			
02	Run Title	Title 24 Analysis			
03	Project Location				
04	City	Coachella	05	Standards Version	2022
06	Zip code		07	Software Version	EnergyPro 9.2
08	Climate Zone	15	09	Front Orientation (deg/ Cardinal)	0
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Newly Constructed Addition	13	Number of Bedrooms	1
14	Addition Cond. Floor Area (ft²)	441	15	Number of Stories	1
16	Existing Cond. Floor Area (ft²)	1000	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft²)	1441	19	Glazing Percentage (%)	8.16%
20	ADU Bedroom Count	1	21	ADU Conditioned Floor Area	441
22	Fuel Type	Propane	23	Occupancy U	No

ADDITION ALONE - Project Analysis Parameters

01	02	03	04	05	06
Existing Area (excl. new addition) (ft2)	Addition Area (excl. existing) (ft2)	Total Area (ft2)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms
1000	441	1441	0	1	1

ADDITION ALONE - ACCESSORY DWELLING UNIT (ADU) PROJECT ANALYSIS PARAMETERS

01	02	03	04	05	06	07	08
Zone Name	Existing Area (excl. new addition) (ft²)	ADU Area (excl. existing) (ft²)	Total Area (ft²)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms	Attached vs. Detached
Living Area	1000	441	1441	0	1	1	Attached

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

ENERGY USE SUMMARY

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kTDV/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	0.59	0	1.56	0	-0.97
Space Cooling	0	113.38	0	94.46	0	18.92
IAQ Ventilation	0	5.2	0	5.2	0	0
Water Heating	0	159.68	0	159.68	0	0
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	278.85	0	260.9	0	17.95
Photovoltaics			0	0		
Battery				0		
Flexibility						
Indoor Lighting	0	7.33	0	7.33		
Appl. & Cooking	0	91.89	0	91.68		
Plug Loads	0	82.93	0	82.93		
Outdoor Lighting	0	5.55	0	5.55		
TOTAL COMPLIANCE	0	466.55	0	448.39		

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

ENERGY USE INTENSITY

	Standard Design (kBtu/ft² - yr)	Proposed Design (kBtu/ft² - yr)	Compliance Margin (kBtu/ft² - yr)	Margin Percentage
Gross EUI[1]	60.68	59.03	1.65	2.72
Net EUI[2]	60.68	59.03	1.65	2.72

Notes
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.

- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Airflow in habitable rooms (SC3.1.4.1.7)
- Verified heat pump rated heating capacity
- Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5)
- Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Living Area	Conditioned	HVAC System1	441	8	DHW Sys 1	New

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status
Front Wall	Living Area	R15 Wall	0	Front	168	56	90	Ex. w/ Siding	New
Left Wall	Living Area	R15 Wall	90	Left	168	0	90	Ex. w/ Siding	New
Rear Wall	Living Area	R15 Wall	180	Back	168	0	90	Ex. w/ Siding	New
Right Wall	Living Area	R15 Wall	270	Right	168	0	90	Ex. w/ Siding	New
Roof	Living Area	R-30 Roof Attic	n/a	n/a	441	n/a	n/a		New

ATTIC

01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic Living Area	Attic RoofLiving Area	Ventilated	4	0.1	0.85	No	No

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
2	Window	Front Wall	Front	0			1	18	0.3	NFRC	0.23	NFRC	Bug Screen
3	Window	Front Wall	Front	0			1	18	0.3	NFRC	0.23	NFRC	Bug Screen

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
D2	Front Wall	20	0.2

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab	Living Area	441	84	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
Attic RoofLiving Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Propane	Small Storage	1	50	EF	0.57	Btu/Hr	75000	0	78	n/a	

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Registration Number: 223-P010107538A-000-000-0000000-0000
Registration Date/Time: 2023-08-28 11:08:50
HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-28 10:23:01

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

CERTIFICATE OF COMPLIANCE

PUBLIC SET

DATE
01/11/24
SHEET
T24-600

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD — **CF1R-PRF-01E**

Project Name: Coachella ADUs (Plan 6-Conversion) — **Calculation Date/Time:** 2023-08-28T10:22:43-07:00 — **(Page 8 of 9)**

Calculation Description: Title 24 Analysis — **Input File Name:** Coachella ADUs (Plan 6-Conversion).ribd22x

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
			Heating				Cooling					
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	VCHP-ductless	1	HSPF	8.2	25000	20000	EERSEER	14	11	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing & Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RA3.3 and SC3.3.3.4.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
SFam ADU IAQVentRpt	28	0.35	Exhaust	No	n/a / n/a	No	Yes	

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD — **CF1R-PRF-01E**

Project Name: Coachella ADUs (Plan 6-Conversion) — **Calculation Date/Time:** 2023-08-28T10:22:43-07:00 — **(Page 9 of 9)**

Calculation Description: Title 24 Analysis — **Input File Name:** Coachella ADUs (Plan 6-Conversion).ribd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Timothy Carstairs	Documentation Author Signature: Timothy Carstairs
Company: Carstairs Energy Inc.	Signature Date: 2023-08-28 11:01:53
Address: 2238 Bayview Heights Drive, Suite E	CEA/ HERS Certification Identification (If applicable): r160610042
City/State/Zip: Los Osos, CA 93402	Phone: 805-904-9048

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Randy Russom	Responsible Designer Signature:
Company: RRM Design Group	Date Signed: 2023-08-28 11:08:50
Address: 3765 S. Higuera Street, Suite 102	License: na
City/State/Zip: San Luis Obispo, CA 94301	Phone: 805-543-1794

2022 Single-Family Residential Mandatory Requirements Summary

5/6/22

ROOM LOAD SUMMARY

Coachella ADUs (Plan 6-Conversion) — HVAC System — Date 8/28/2023 — Floor Area 441

RESIDENTIAL MEASURES SUMMARY — RMS-1

Coachella ADUs (Plan 6-Conversion) — CA Climate Zone 15 — 441 — Date 8/28/2023

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

CERTIFICATE OF COMPLIANCE

PUBLIC SET

DATE 01/11/24

SHEET T24-601

SITE PLAN TO BE PROVIDED BY APPLICANT

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK
- EASTMENT
- (E) FENCE
- (E) WALLS/RETAINING WALLS

SITE PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION
3. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER 2022 CRC, SECTION 310.1.
4. NOT LESS THAN 30" OF CLEARANCE IN WIDTH, DEPTH, & HEIGHT SHALL BE PROVIDED TO ACCESS EXTERIOR MECHANICAL EQUIPMENT. SHOW LOCATION ON SITE PLAN & LABEL (2022 CMC SECTION 304.1 & 2022 CPC 504.3).

SITE PLAN CHECKLIST

IF (N) ADU IS 5' - 0" OR LESS TO ANY PROPERTY LINE AND/OR ADU IS 10' - 0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE:

☐ **NO** ☐ **YES;** IF YES, FIRE RATED WALL & ROOF REQUIRED PER 2022 CBC, CHAPTER 2. **SEE DETAILS**: **52/A-901 & 32/A-903**

ELECTRICAL PANEL:

☐ **OPTION 1 -** NEW ELECTRICAL MAIN PANEL WITH 225 AMP MINIMUM BUSBAR RATING

☐ **OPTION 2 -** A NEW ELECTRICAL SUBPANEL CONNECTS TO THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME WITH A 225 AMP MINIMUM BUSBAR RATING. A SEPARATE ELECTRICAL PERMIT SHALL BE PULLED FOR THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME, ELECTRICAL LOAD CALCULATIONS IS REQUIRED.

☐ **FOOTPRINT OF ALL EXISTING AND PROPOSED BUILDINGS**
PLOT THE PROPOSED ADU BUILDING FOOTPRINT ALONG WITH ANY OTHER EXISTING BUILDINGS ONSITE. THIS INCLUDES ALL STRUCUTRES / PORCHES / GAZEBOS. IF AN OPTIONAL COVERED PATIO IS SELECTED, PLEASE PLOT THAT AS WELL.

☐ **AREA OF EXISTING BUILDING**
INDICATE THE SQUARE FOOTAGE OF THE EXISTING HOUSE.

☐ **FOOTPRINT OF PROPOSED ADU**
REFER TO LEGEND FOR FOOTPRINT AT 10'=1" SCALE

☐ **DRAWING SCALE**
SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE.

☐ **PROPERTY LINES**
SHOW OUTLINE OF PROPERTY USING DASHED LINE IN LEGEND. INDICATE THE BEARING AND DISTANCE OF THE PROPERTY LINE.

☐ **LABEL YARDS**
LABEL FRONT, REAR, SIDE YARDS, AS WELL AS DRIVEWAYS, PATHWAYS AND ANY OTHER HARDSCAPE.

☐ **SETBACKS**
DIMENSION THE DISTANCE BETWEEN BUILDINGS AND PROPOERTY LINES, AS WELL AS BUILIDNGS TO OTHER STRUCTURES. SETBACKS TO SIDE AND REAR PROPERTY SIDE SHALL BE A MINIMUM OF (4' - 0").

☐ **EASEMENTS**
REFER TO LEGEND. MUST INCLUDE ALL APPLICABLE EASEMENTS. PROPOSED STRUCTURE SHALL COMPLY WITH EASEMENT REQUIREMENTS.

☐ **LOCATION OF RAIN WATER LEADERS**
THE ROOF DRAINS SHOULD DRAIN AWAY FROM THE PROPERTY LINES AND INTO THE LANDSCAPE AREA.

☐ **LABEL STREETS & SIDEWALKS**

☐ **DIMENSION BUILDING SEPARATION**
DIMENSION THE DISTANCE BETWEEN THE PROPOSED ADU AND ANY EXISTING STRUCTURES

☐ **LOT COVERAGE CALCULATION**
TOTAL FOOTPRINT AREA FOR STRUCTURES ON SITE / LOT AREA

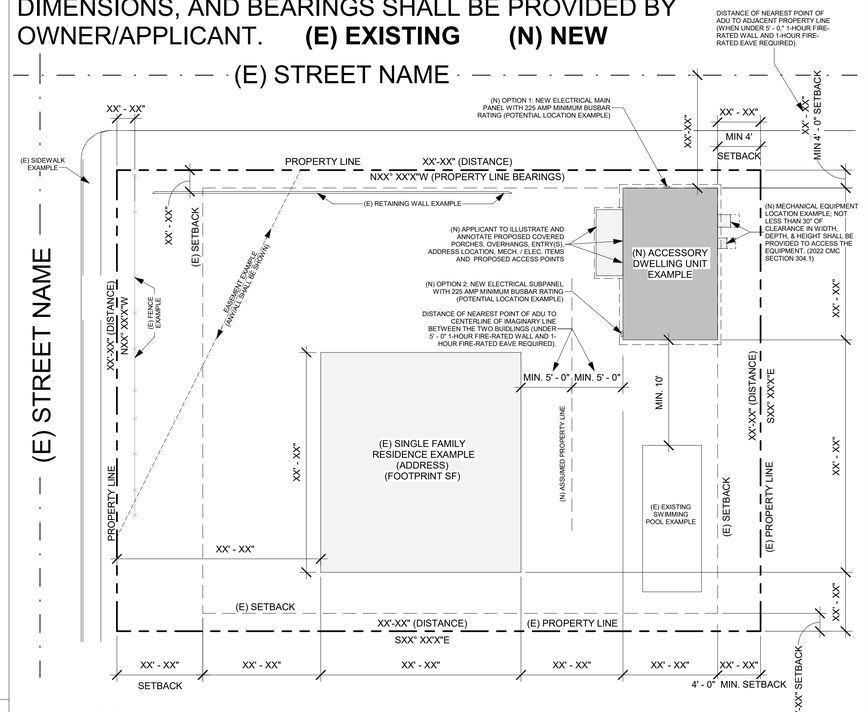
☐ **SWIMMING POOLS**
ALL EXISTING SWIMMING POOLS SHALL BE SHOWN ON THE SITE PLAN AND SHALL HAVE 10' MINIMUM SETBACK TO THE NEW ADU STRUCTURE.

☐ **PORCHES**
THERE SHALL BE NO MORE THAN 30 INCHES MEASURED VERITCALLY TO THE FLOOR OR GRADE BELOW (INCLUDING FLOORS, STAIRS, RAMPS, AND LANDINGS) ANYWHERE MEASURED LESS THAN 36 INCHES HORIZONTALLY TO THE EDGE OF THE PORCH/SLAB/SURFACE OF THE RAIL. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.

☐ **LOCATION OF EXISTING UTILITIES**
UTILITIES, POLES, SEWER, DRAINS, ELECTRICAL, GAS METERS AND LINES AND ANY PHOTOVOLTATIC.

☐ **LOCATION OF PROPOSED UTILITIES**
PROPOSED UTILITIES SHALL CONFORM TO REQUIREMENTS OF CONTRA COSTA COUNTY SANITARY DISTRICT. SANITARY SEWER FROM ADU TO EXISTING SEWER. SEWER LINE TO THE PROPOSED ADU SHALL BE CONNECTED TO THE MAIN LATERAL AT THE PROPERTY LINE OR BEHIND THE SIDEWALK. LATERAL POINT OF CONNECTION INCLUDING REQUIRED CLEANOUTS, WATER LINE TO ADU, ELECTRIC TO ADU INCLUDING ANY NEW METERS OR SUBPANELS.

NOTE: THIS IS AN EXAMPLE SITE PLAN. EXACT LAYOUT, DIMENSIONS, AND BEARINGS SHALL BE PROVIDED BY OWNER/APPLICANT. **(E) EXISTING** **(N) NEW**



1 EXAMPLE SITE PLAN
1" = 20'-0"

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL SITE PLAN SHEET
- EXAMPLE & INSTRUCTIONS

DATE
01/11/24

SHEET
AS-100

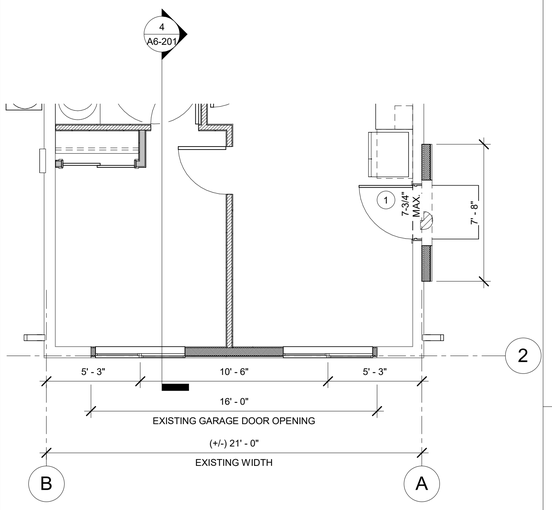
PUBLIC SET

SITE PLAN

SCALE:

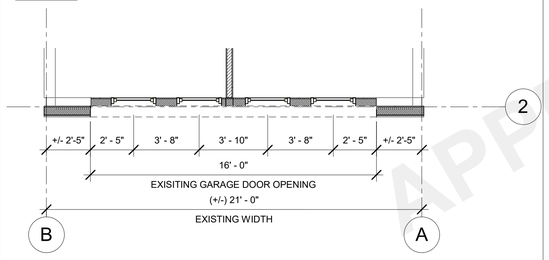
NORTH ARROW

11/9/2024 8:55:07 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt



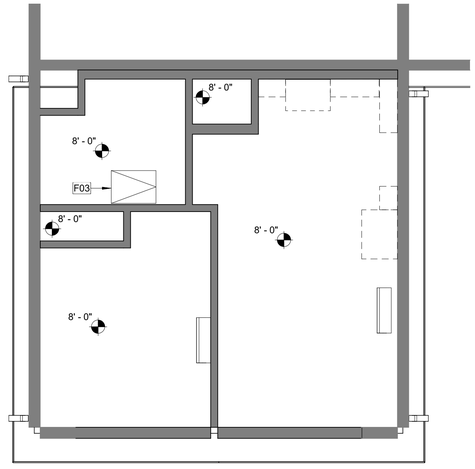
3 PARTIAL FLOOR PLAN - MISSION

A6-201 | A6-101 SCALE: 1/4" = 1'-0"



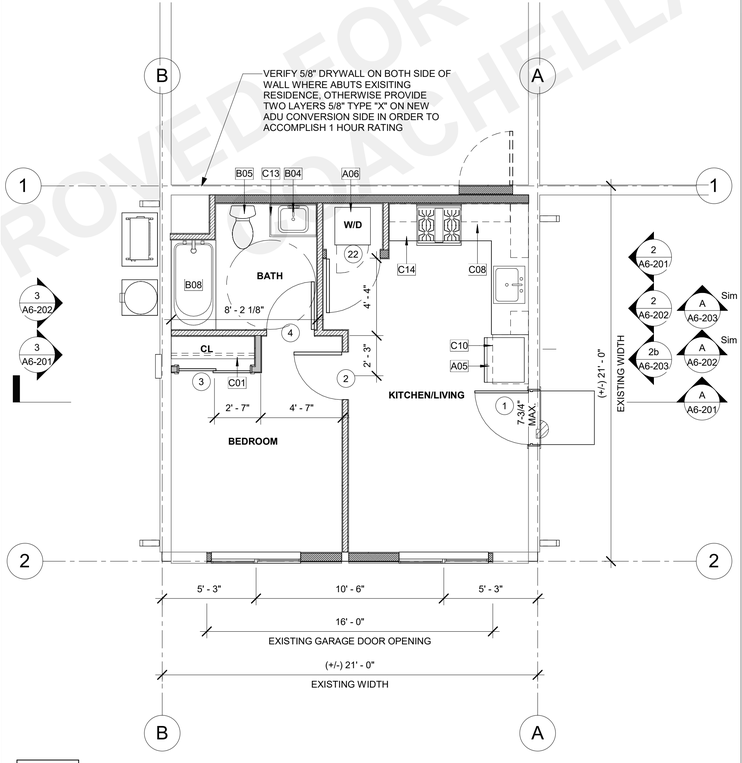
4 PARTIAL FLOOR PLAN - MODERN

A6-201 | A6-101 SCALE: 1/4" = 1'-0"



2 GROUND FLOOR RCP

A6-201 | A6-101 SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - FRONT FACING GARAGE DOOR

A6-201 | A6-101 SCALE: 1/4" = 1'-0"

LEGEND

EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND STUCCO/SIDING PER ELEVATION, ONE LAYER GYPSUM WALL BOARD INTERIOR.

INTERIOR- 5 1/2" WOOD STUD W/ONE LAYER GYPSUM WALL BOARD EACH SIDE.

INTERIOR- 3 1/2" WOOD STUD W/ONE LAYER GYPSUM WALL BOARD EACH SIDE.

KEYNOTES

A05	REFRIGERATOR LOCATION. PROVIDE 37" SPACE WITH ROUGH PLUMBING FOR ICE MAKER (RECESS IN WALL).
A06	STACKED WASHER/DRYER MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX. PROVIDE DRYER VENT. VENT TO OUTSIDE AIR THROUGH EXTERIOR WALL. DRYER VENT 4" MIN DIAMETER TO EXTERIOR WITH SCREENED AND ONE DIRECTIONAL VENT GATE. MAX LENGTH TO NOT EXCEED 14' WITH A MAX OF 2 90-DEGREE BENDS. TERMINATION SHALL BE 3' MINIMUM FROM OPERABLE OPENING IN EXTERIOR WALL.
B04	LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
B05	WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
B08	30" x 60" x 72" TUB AND SHOWER COMBINATION. MODEL BY BUILDER. PROVIDE SHOWER ROD.
C01	SINGLE WOOD SHELF AND POLE.
C08	12" DEEP UPPER CABINET
C10	24" DEEP UPPER CABINET.
C13	SINK BASE CABINET AND COUNTERTOP."
C14	36" A.F.F. COUNTERTOP
F03	22" X 30" MIN. ATTIC ACCESS.

WINDOW GENERAL NOTES

1. REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
3. REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS.
4. ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
5. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX. SILL HEIGHT OF 44" AFF, MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". **[2022 CRC SEC. R310.2]**
6. WINDOWS TO MARCH EXISTING STYLE AND COLOR OF EXISTING HOME

WINDOW SCHEDULE

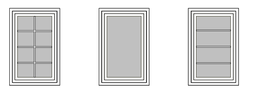
NO.	TYPE	SIZE WIDTH	SIZE HEIGHT	HEAD HEIGHT	REMARKS

WINDOW REMARKS

1. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES . THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. PER **CBC 2022 SEC. 1031.3.2**
2. SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. PER **CBC 2022 SEC. 1031.3.3**
3. TEMPERED / SAFETY GLAZING.

WINDOW LEGEND

A.
HORIZONTAL SLIDER



B.
CASEMENT

FLOOR PLAN NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING U.N.O
2. REFER TO STRUCTURAL PLANS FOR FURTHER FRAMING INFORMATION.
3. REFER TO ELECTRICAL & MECHANICAL PLANS FOR FURTHER INFORMATION.
4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
5. FLOOR FINISHES TO BE DETERMINED BY THE PROPERTY OWNER.
6. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
8. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED CBC HEIGHT LIMITATION.

AREAS

AREAS-PLAN 5	
SPACE	CONDITIONED AREA
PLAN 5-EXISTING FOOTPRINT OF GARAGE, AS SHOWN IN VIEW 1/A7-101	441 SF

DOOR GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS
2. REFER TO PLANS FOR LOCATION OF DOORS.
3. VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
5. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 13/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 13/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS ***2022 CRC SECTION R302.5.1***. DOORS SHALL BE SELFLATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATICCLOSING DEVICE.
6. GLAZING IN DOORS SHALL BE TEMPERED PER ***SECTION R308.4.1***.
7. DOORS TO MATCH STYLE AND COLOR OF EXISTING HOME.

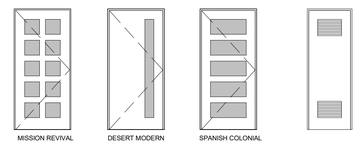
DOOR SCHEDULE

NO.	TYPE	SIZE WIDTH	SIZE HEIGHT	FIRE RATING	REMARKS
2	C	2' - 8"	6' - 8"		
3	D	4' - 0"	6' - 8"		
4	C	2' - 8"	6' - 8"		
22	C	3' - 0"	6' - 8"		3

DOOR REMARKS

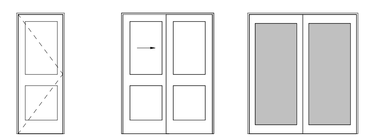
1. FIRE RATED DOOR. REFER TO GENERAL DOOR NOTE #5
2. GLAZING IN DOOR. TEMPERED (BOTH PANES)
3. PROVIDE 100 SQ INCHES OF VENTING IN DOOR OR BY OTHER APPROVED MEANS.
4. OPTIONAL DOOR.

DOOR LEGEND



A.
SOLID CORE
WOOD EXTERIOR

B.
EXTERIOR - VENTED
WATER CLOSET



C.
SINGLE HOLLOW
CORE INTERIOR

D.
DOUBLE SLIDING
INTERIOR

E.
SLIDING GLASS
EXTERIOR.

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

FLOOR PLAN & RCP - PLAN 6

PUBLIC SET

DATE
01/11/24

SHEET
A6-101

11/9/2024 8:54:59 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt

ELECTRICAL LOAD CALCULATIONS

VENTILATION SUMMARIES

1) LOCAL EXHAUST VENTILATION

BATHROOM	OPTION A	OPTION B
BATHROOM FAN FLOW (cfm)	50 CFM	50 CFM
DUCT TYPE	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in)	4"	4"
MAX. ALLOWABLE DUCT LENGTH (ft)	70'	105'
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 3 SONES.		

KITCHEN	OPTION A	OPTION B
KITCHEN FAN FLOW (cfm)	100 CFM	50 CFM
DUCT TYPE	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in)	5"	5"
MAX. ALLOWABLE DUCT LENGTH (ft)	35'	85'
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 3 SONES.		

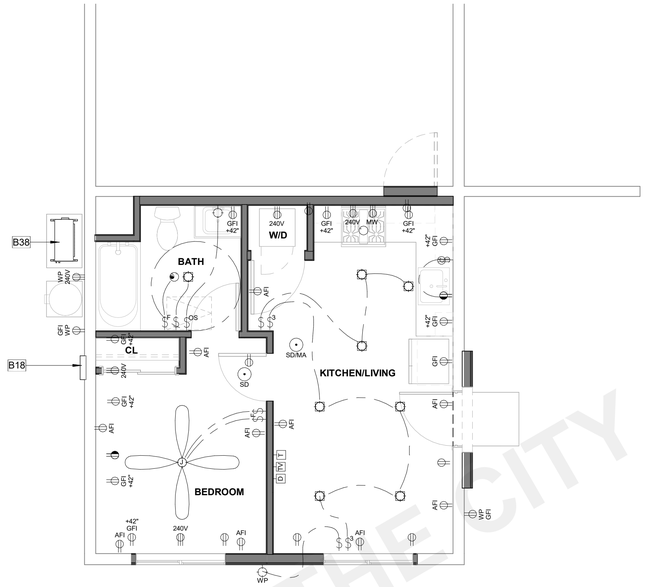
2) WHOLE BUILDING VENTILATION	OPTION A	OPTION B
PER ASHRAE STANDARD 62.2, CEC EQUATION 150.0-B		
BUILDING FAN FLOW (cfm)	50 CFM	50 CFM
DUCT TYPE	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in)	4"	4"
MAX. ALLOWABLE DUCT LENGTH (ft)	70'	105"
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 1 SONE.		
THIS EXHAUST FAN IS REQUIRED TO OPERATE CONTINUOUSLY TO ENSURE CONTINUOUSLY TO ENSURE INDOOR AIR QUALITY.		

TOTAL (MINIMUM) REQUIRED VENTILATION RATE
PER ASHRAE STANDARD 62.2, CEC EQUATION 150.0-B
QCFM = .03(FLOOR AREA) + 7.5 (# OF BEDROOMS + 1)

WHOLE DWELLING UNIT MECHANICAL VENTILATION
PER SECTION 150.0(O)(C)(i) [ASHRAE 62.2:4.1.2]
1 BED - MINIMUM CUBIC FEET PER MINUTE (CFM) (Equation 150.0-B)
Qtot = 0.03Afloor + 7.5(Nbr + 1) **.03(sf) + 7.5 (1+1) =** **CFM** < 50 CFM

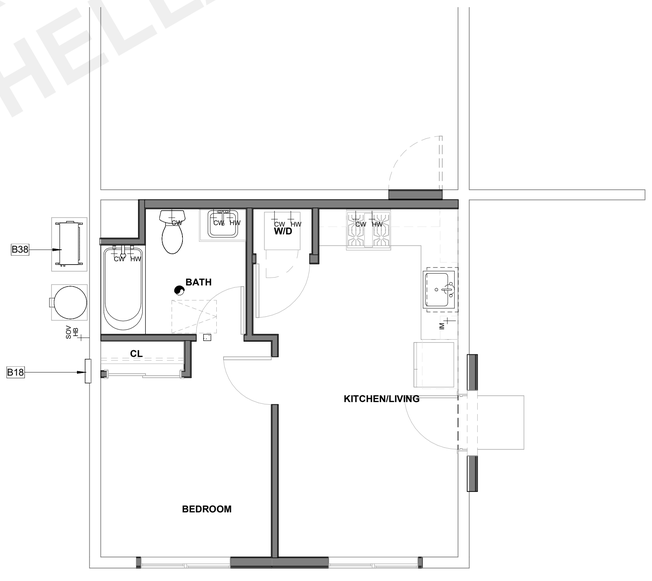
EFFECTIVE ANNUAL AVERAGE INFILTRATION RATE
PER SECTION 150.0(O)(C)(ii)
a. (Equation 150.0-C) Q50 = Vdu (x) 2 ACH50 / 60minutes
a. (Equation 150.0-D) Q50 = Vdu (x) Verified ACH50 / 60minutes
b. (Equation 150.0-E) Qtot = 0.052 (x) Q50 x wsf x [H/Hr]^z [ASHRAE 62.2:4.1.2.1]

REQUIRED MECHANICAL VENTILATION RATE
AND REQUIRED MECHANICAL VENTILATION RATE PER 150.0(O)(C)(iii) [ASHRAE 62.2:4.1.2]
(Equation 150.0-F) **Qfan = Qtot (-) ϕ (Qinf (x) Aext)**



1 ELECTRICAL FLOOR PLAN

A6-201 | A6-111 SCALE: 1/4" = 1'-0"



2 MECHANICAL FLOOR PLAN

A6-201 | A6-111 SCALE: 1/4" = 1'-0"

UTILITY GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS.
2. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
3. SEE TITLE 24 REPORTS FOR ADDITIONAL INFORMATION.

KEYNOTES

B18	ELECTRIC PANEL TBD.
B38	MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE.

PLUMBING FIXTURES

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS
PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1 AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	**FLOW RATE**
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

RCP NOTES

1. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN. UON.
2. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL ELECTRICAL PLAN.
3. REFER TO ARCHITECTURAL ELECTRICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
5. REFER TO FLOOR PLAN FOR ELEVATION AND SECTION REFERENCES.

LEGEND

NOTE: ALL OUTDOOR OUTLETS SHALL HAVE GFCI PROTECTION AND WEATHERPROOF COVERS.

- ELECTRICAL SWITCH
- OS ELECTRICAL SWITCH-VACANCY SENSOR
- F ELECTRICAL SWITCH-FAN
- EXHAUST FAN W/HUMIDISTAT
- WALL MOUNTED HIGH-EFFICACY LIGHT
- RECESSED HIGH-EFFICACY DOWNLIGHT
- VP RECESSED HIGH-EFFICACY DOWNLIGHT VAPOR PROOF
- ELECTRICAL WIRING
- SD SMOKE DETECTOR/ALARM
- SD/MA COMBINATION SMOKE/CARBON MONOXIDE
- T TELEPHONE LOCATION
- TV CABLE TELEVISION LOCATION
- CEILING FAN OPTIONAL (PRE WIRE FOR CEILING FAN ONLY)
- 10' - 0" CEILING HEIGHT
- AFI DUPLEX OUTLET ARC-FAULT CIRCUIT INTERRUPTER
- 240V DUPLEX OUTLET 240 VOLTS
- GFI DUPLEX OUTLET GROUND FAULT INTERRUPTER
- GFI WP DUPLEX OUTLET WATERPROOF GROUND FAULT INTERRUPTER
- DUPLEX OUTLET AFCI-HALF HOT
- CW COLD WATER STUB OUT
- HW HOT WATER STUB OUT
- HB WATER HOSE BIBB
- SOV HB WATER HOSE BIBB WITH SHUT OF VALVE
- 22"X30" MIN. CEILING ACCESS PANEL

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

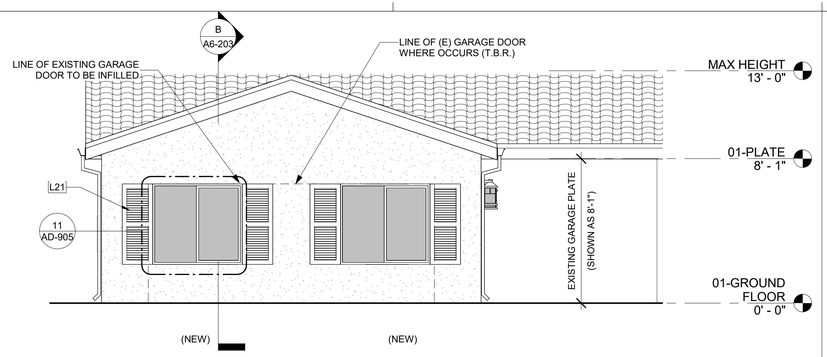
PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

MECHANICAL AND ELECTRICAL PLANS AND REFLECTED CEILING PLAN - PLAN 6

PUBLIC SET

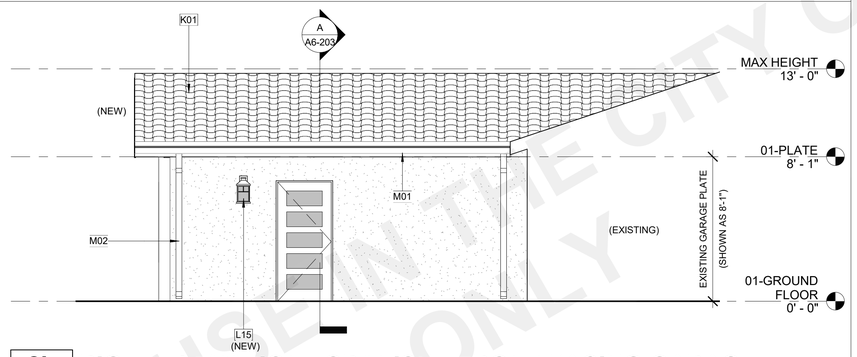
DATE 01/11/24

SHEET A6-111



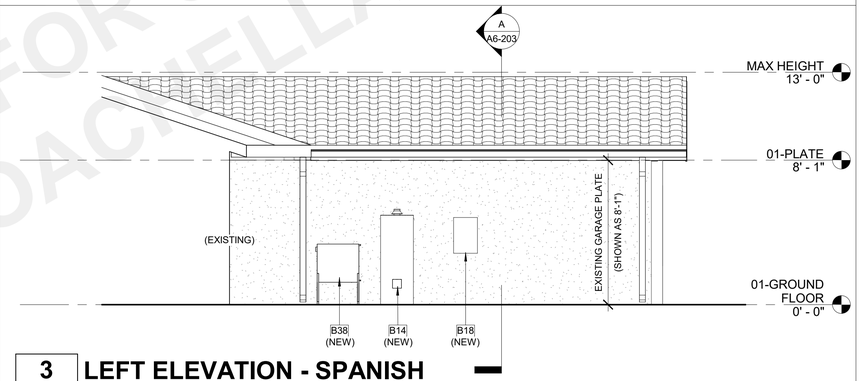
1b FRONT ELEVATION - SPANISH - FRONT FACING GARAGE

A6-203 SCALE: 1/4" = 1'-0"



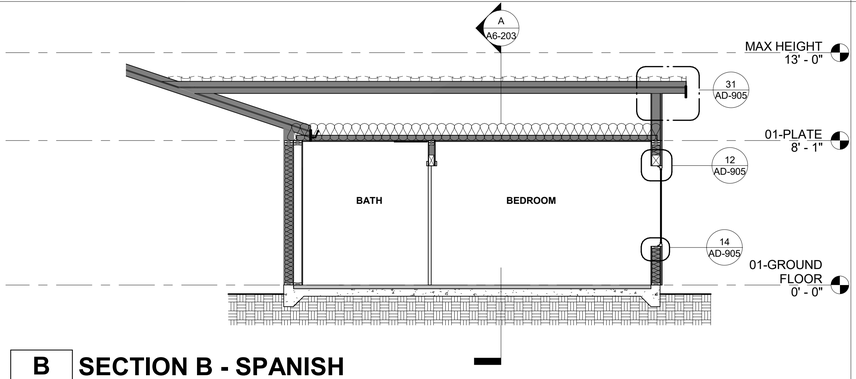
2b RIGHT ELEVATION - SPANISH - FRONT FACING GARAGE

A6-101 A6-203 SCALE: 1/4" = 1'-0"



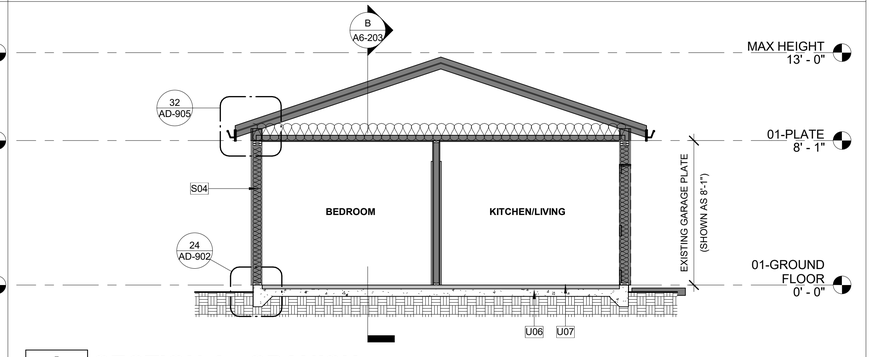
3 LEFT ELEVATION - SPANISH

A6-203 SCALE: 1/4" = 1'-0"



B SECTION B - SPANISH

A6-203 A6-203 SCALE: 1/4" = 1'-0"



A SECTION A - SPANISH

A6-101 A6-203 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS
2. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
3. REFER TO ROOF PLAN FOR OVERHANGS. FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
4. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
5. REFER TO PLOT PLAN FOR PLAN TYPE, ELEVATION STYLE AND COLOR SCHEME.
6. THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
7. ANCHORED VENEER, BRICK, CONCRETE, MASONRY OR STONE IN ACCORDANCE WITH CRC R703.8
8. ADHERED VENEER, CONCRETE, STONE OR MASONRY IN ACCORDANCE WITH CRC R703.12
9. EXTERIOR PLASTER (STUCCO) INSTALLATION SHALL COMPLY WITH THE PROVISIONS OF CRC R703.7 AND COMPLIANCE WITH ASTM C926 AND ASTM C1063, STANDARD SPECIFICATIONS FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER, INCLUDING INSTALLATION OF CONTROL JOINTS.
10. GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
11. CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

KEYNOTES

B14	50 GALLON TANK TYPE ELECTRIC WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. STRAPPING DETAIL 51/AD-902.
B18	ELECTRIC PANEL TBD.
B38	MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE.
K01	CONCRETE S-TILE. ESR REPORT TO BE PROVIDED BY OWNER
L15	EXTERIOR LIGHT SCHEME C. DARK SKY AND TITLE 24 COMPLIANT.
L21	FAUX SHUTTERS
M01	GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4
M02	DOWNSPOUT. CONNECT TO STORM DRAIN SYSTEM
S04	2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
U06	CONCRETE SLAB FOUNDATION PER STRUCTURAL. 10 MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS.
U07	LEVEL EXISTING FLOOR SLAB

VENTING REQUIRED

ROOF VENTILATION - REQUIRED - 2 CAR GARAGE CONVERSION			
ATTIC ZONE	**AREA**	**FACTOR**	**REQUIRED SI**
ATTIC-2 CAR GARAGE CONVERSION	441 SF	0.0033	212 in²

VENTING PROPOSED

ATTIC ZONE	NUMBER	VENT TYPE	FREE AREA
2 CAR GARAGE CONVERSION	3	O'HAGIN FIRE & ICE	292.50 in²
HIGH			292.50 in²
			292.50 in²

LEGEND

NOTE: EXTERIOR WALL COVERINGS SHALL BE EITHER A NON-COMBUSTIBLE MATERIAL, AN IGNITION RESISTANT MATERIAL, OR OTHERWISE COMPLY WITH THE REQUIREMENTS SET FORTH IN THE ***2022 CRC SECTION R337.7***.

- EXISTING WALL COVERING
- NEW EXTERIOR FINISH AND COLOR TO MATCH THAT OF PRINCIPAL DWELLING
- 10'-0" — HEIGHT OF TOP OF ROOFING SURFACE *(INCLUDING CRICKETS AND INSULATION)*
- 1/2" / 1'-0" — ROOF SLOPE *(REFER TO ROOF PLAN FOR ACTUAL SLOPE)*
- ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER RESISTANT VENT *(CRC R337 COMPLIANT)*
  - S-TILE OR COMPOSITE SHINGLE TYPE PER EXISTING ROOF TYPE
- EXISTING ROOFING MATERIAL

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

EXT. ELEVATIONS & SECTIONS - PLAN 6 - SPANISH

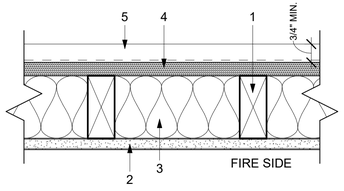
PUBLIC SET

DATE
01/11/24

SHEET
A6-203

1/19/2024 8:55:03 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt

U 356



WOOD STUDS, GYPSUM BOARD AND CEMENT STUCCO

1. WOOD STUDS
NOMINAL 2X4 SPACED 16" O.C. WITH (2) 2X4 TOP PLATES (1) 2X4 BOTTOM PLATE. STUDS LATERALLY-BRACED BY WOOD STRUCTURAL PANEL SHEATHING (ITEM 5) AND EFFECECTIVELY FIRE STOPPED AT TOP AND BOTTOM OF WALL.

2. GYPSUM BOARD
ANY CLASSIFIED 5/8" THICK, 48" WIDE, APPLIED VERTICALLY AND NAILED TO STUDS AND BEARING PLATES 7" O.C. WITH 6D CEMENT-COATED NAILS, 1 7/8" LONG WITH 1/4" DIAM. HEAD.

JOINTS AND NAILHEADS (NOT SHOWN) - WALLBOARD JOINTS COVERED WITH TAPE AND JOINT COMPOUND. NAIL HEADS COVERED WITH JOINT COMPOUND.

3. BATTS AND BLANKETS
MINERAL FIBER OR GLASS INSULATION, 3 1/2" THICK, PRESSURE FIT TO FILL WALL CAVITIES BETWEEN STUDS AND PLATES. MINERAL FIBER INSULATION TO BE UNFACED AND TO HAVE A MIN. DENSITY OF 3 PCF. GLASS FIBER INSULATION TO BE FACED WITH ALUMIUM FOIL OR FRAFT PAPER AND TO HAVE A MIN. DENSITY OF 0.9 PCF (MIN. R-13 THERMAL INSULATION RATING).FIBER SPRAYED - AS AN ALTERNATE TO BATTS AND BLANKETS (ITEM 4) - SPRAY APPLIED CELLULOSE INSULATION MATERIAL. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED CAVITY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. NOMINAL DRY DENSITY OF 3.0 LB/CU.FT.

4. WOOD STRUCTURAL PANEL SHEATHING
MIN 7/16" THICK, 4 FT. WIDE WOOD STRUCTURAL PANELS, MIN. GRADE "C-D" OR "SHEATHING". INSTALLED WITH LONG DIMENSION OF SHEET (STRENGTH AXIS) OR FACE GRAIN OF PLYWOOD PARALLEL WITH OR PERPENDICULAR TO STUDS. VERTICAL JOINTS CENTERED ON STUDS. HORIZONTAL JOINTS BACKED WITH NOMINAL 2X4 WOOD BLOCKING. ATTACHED TO STUDS ON EXTERIOR SIDE OF WALL WITH 6D CEMENT COATED BOX NAILS SPACED 6" O.C. AT PERIMETER OF PANELS AND 12" O.C. ALONG INTERIOR STUDS.

5. EXTERIOR FACING
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION. ONE OF THE FOLLOWING EXTERIOR FACINGS IS TO BE APPLIED OVER THE SHEATHING. REFER TO PLAN FOR INFOEMATION:

D. CEMENTITIOUS STUCCO - PORTLAND CEMENT OR SYNTHETIC STUCCO SYSTEM WITH SELF-FURRING METAL LATH OR ADHESIVE BASE COAT. THICKNESS FROM 3/8" TO 3/4", DEPENDING ON SYSTEM.

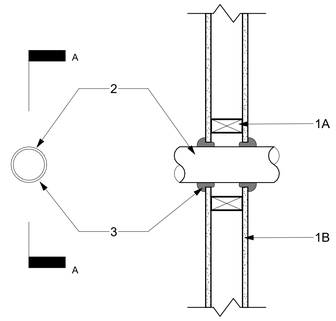
H. FIBER-CEMENT SIDING - FIBER-CEMENT EXTERIOR SIDING INCLUDING SMOOTH AND PATTERNED PANEL OR LAP SIDING.

UL DES U305

NOTE:
AT INTERIOR WALL USE:
5/8" SHEETROCKFIRECODE CORE PANELS,
5/8" SHEETROCK ULTRALIGHT PANELS FIRE CODE X OR
5/8" FIBEROCK PANELS –
2 X 4 WOOD STUD 16" OR 24" O.C.

53 1-HR EXT. RATED WALL ASSEMBLY
AD-901 SCALE: 3" = 1'-0"

XHEZ.W-L-1166



WALL SYSTEM PENENTRATION
F RATING - 1 AND 2 HR (SEE ITEM 1B)
T RATING - 0 HR

1. WALL ASSEMBLY
THE 1 OR 2 HR. FIRE RATED GYPSUM WALLBOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES WALL AND PARTITION DESIGNS IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:

A. STUDS-
WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOM. 2 IN. BY 4 IN. LUMBER SPACED 16 IN O.C. STEEL STUDS TO BE MIN. 3 1/2 IN. WIDE AND SPACED MAX. 24 IN. O.C.

B. GYPSUM BOARD (BEARING THE UL CLASSIFICATION MARKING)-
THICKNESS, TYPE, NUMBER OF LAYERS AND FASTENERS AS REQUIRED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX. DIAM. OF OPENING IS 5 IN.

THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS EQUAL TO THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED.

2. THROUGH- PENETRANTS
ONE METALLIC PIPE, CONDUIT OR TUBING INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE BETWEEN THE PIPE, CONDUIT OR TUBING AND PERIPHERY OF THE OPENING SHALL BE MIN. OF 0 IN. (POINT CONTACT) TO A MAX. 1/8 IN. PIPE, CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUITS OR TUBING MAY BE USED:

A. COPPER TUBING-
NOM. 4 IN. DIAM. (OR SMALLER) TYPE M (OR HEAVIER) COPPER TUBING.

B. COPPER PIPE-
NOM. 4 IN. DIAM. (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.

C. STEEL PIPE-
NOM. 4 IN. DIAM. (OR SMALLER) SCHEDULE 5 (OR HEAVIER) STEEL PIPE.

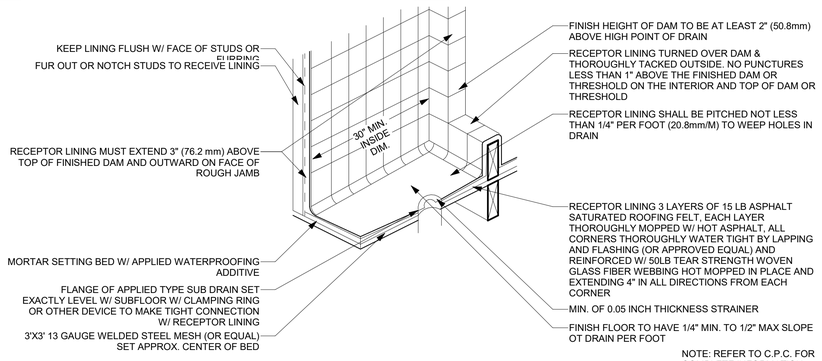
D. CONDUIT-
NOM. 4 IN. DIAM. (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR RIGID STEEL CONDUIT

E. IRON PIPE-
NOM. 4 IN. DIAM. (OR SMALLER) CAST OR DUCTILE IRON PIPE.

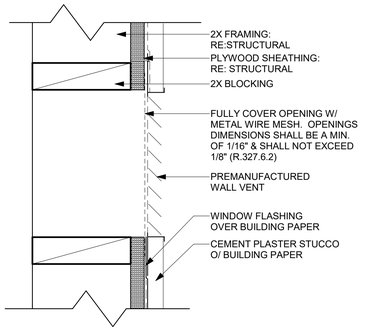
3. FILL, VOID OR CAVITY MATERIALS (BEARING THE UL CLASSIFICATION MARKING) - CAULK OR PUTTY-MIN. 1/2 IN. DIAMETER BEAD CAULK OR PUTTY APPLIED CONTINUOUSLY AROUND THE PENETRANT ON THE WALL SURFACES ON BOTH SIDES OF THE WALL.

3M COMPANY - CP 25WB+ CAULK OR MPS-2+ PUTTY

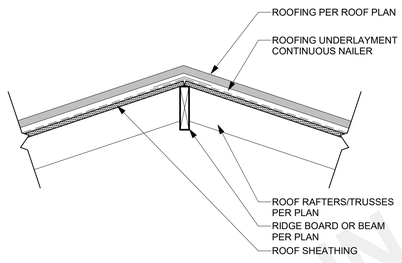
43 THROUGH PENETRATION @ WALL1
AD-901 SCALE: 1 1/2" = 1'-0"



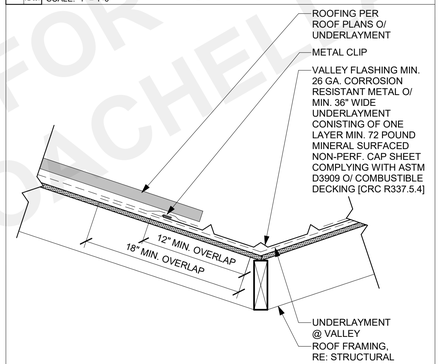
54 SHOWER - RECEPTOR
AD-901 SCALE: 12" = 1'-0"



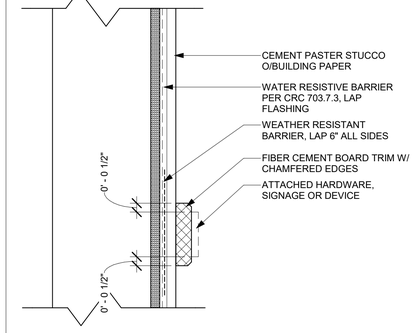
31 WALL VENT
AD-901 SCALE: 3" = 1'-0"



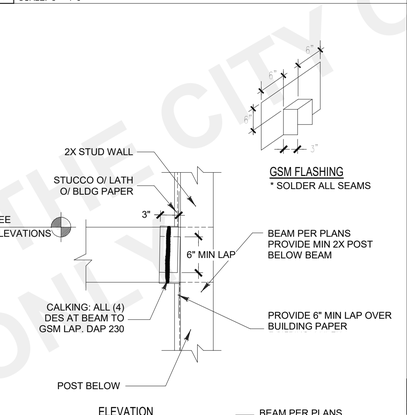
32 HIP/RIDGE
AD-901 SCALE: 1" = 1'-0"



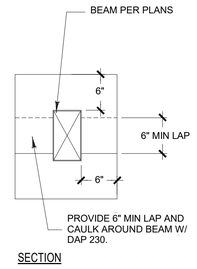
33 VALLEY FLASHING
AD-901 SCALE: 1 1/2" = 1'-0"



21 MOUNTING PAD
AD-901 SCALE: 3" = 1'-0"



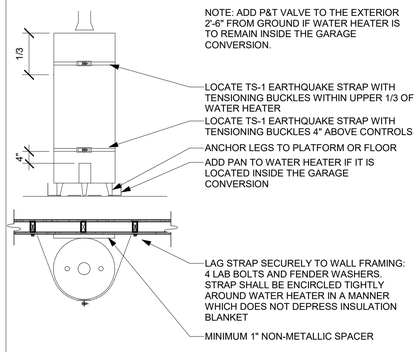
ELEVATION



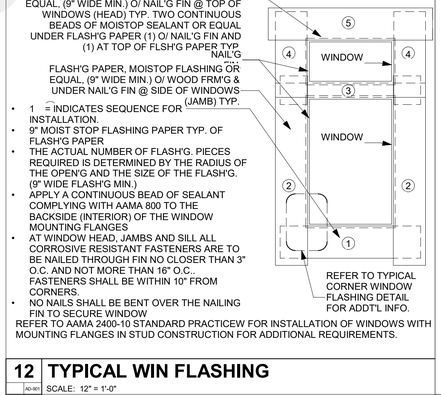
SECTION

NOTE:
* NO NAILS THROUGH GSM INTO BEAM
* NO NAILS SHALL PENETRATE GSM WITHIN 2" OF BEAM

23 BEAM TO WALL FLASHING
AD-901 SCALE: 1" = 1'-0"



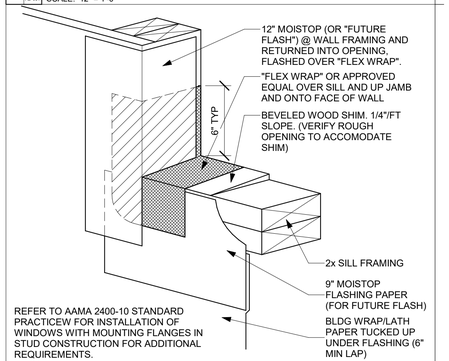
24 WATER HEATER MOUNTING
AD-901 SCALE: 1/2" = 1'-0"



- 1 = INDICATES SEQUENCE FOR INSTALLATION.
- 9" MOIST STOP FLASHING PAPER TYP. OF FLASH'G PAPER
- THE ACTUAL NUMBER OF FLASH'G. PIECES REQUIRED IS DETERMINED BY THE RADIUS OF THE OPEN'G AND THE SIZE OF THE FLASH'G. (9" WIDE FLASH'G MIN.)
- APPLY A CONTINUOUS BEAD OF SEALANT COMPLYING WITH AAMA 800 TO THE BACKSIDE (INTERIOR) OF THE WINDOW MOUNTING FLANGES
- AT WINDOW HEAD, JAMBS AND SILL ALL CORROSIVE RESISTANT FASTENERS ARE TO BE NAILED THROUGH FIN NO CLOSER THAN 3" O.C. AND NOT MORE THAN 16" O.C.. FASTENERS SHALL BE WITHIN 10" FROM CORNERS.
- NO NAILS SHALL BE BENT OVER THE NAILING FIN TO SECURE WINDOW

REFER TO AAMA 2400-10 STANDARD PRACTICEW FOR INSTALLATION OF WINDOWS WITH MOUNTING FLANGES IN STUD CONSTRUCTION FOR ADDITIONAL REQUIREMENTS.

12 TYPICAL WIN FLASHING
AD-901 SCALE: 12" = 1'-0"



REFER TO AAMA 2400-10 STANDARD PRACTICEW FOR INSTALLATION OF WINDOWS WITH MOUNTING FLANGES IN STUD CONSTRUCTION FOR ADDITIONAL REQUIREMENTS.

13 TYPICAL CORNER WIN FLASHING
AD-901 SCALE: 12" = 1'-0"

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

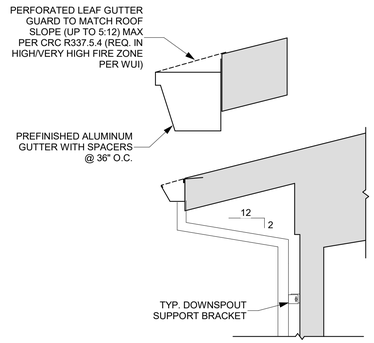
ARCHITECTURAL DETAILS - COMMON

PUBLIC SET

DATE
01/11/24

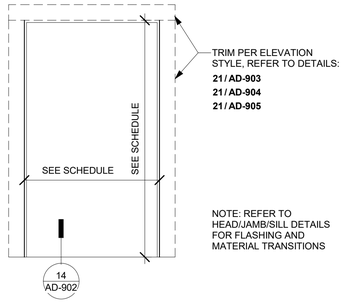
SHEET
AD-901

11/9/2024, 9:55:04 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt



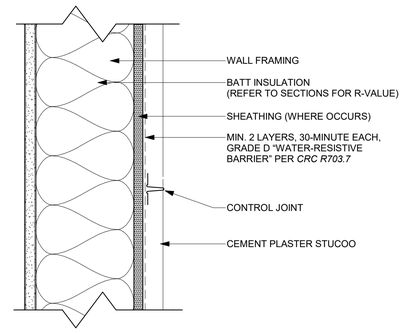
51 TYP. GUTTER TO EXT. DOWNSPOUT

AD-902 SCALE: 1/2" = 1'-0"



31 DOOR TRIM - SLIDING GLASS

AD-902 SCALE: 3/4" = 1'-0"

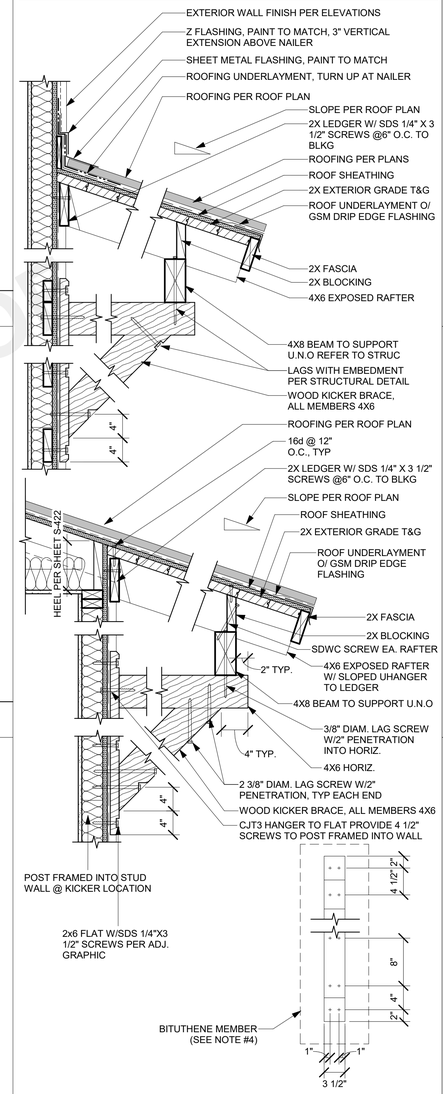


21 PLASTER - CONTROL JOINT

AD-902 SCALE: 3" = 1'-0"

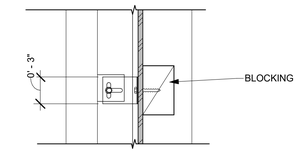
NOTES

1. PRE-PRIME ALL SIDES OF BRACE FRAMING PRIOR TO INSTALLATION. TYPICAL
2. A SELF SEALING MEMBRANE SHALL BE INSTALLED BEHIND WALL TRIM & EXTEND 6" BEYOND WALL TRIM AND 4" MIN. LAP O/WEATHER BARRIER
3. CAULK AROUND TOP & SIDES OF 4X AT WALL PENETRATION.
4. A BITUTHENE MEMBRANE SHALL BE INSTALLED BEHIND 4X6 BRACE W/ 4" LAP MIN.



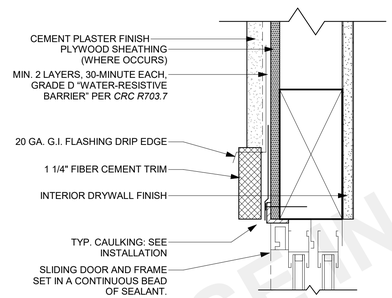
13 SHED ROOF WITH KICKER

AD-902 SCALE: 1" = 1'-0"



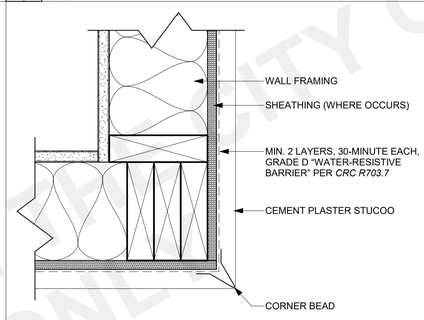
52 DOWNSPOUT ATTACHMENT

AD-902 SCALE: 1 1/2" = 1'-0"



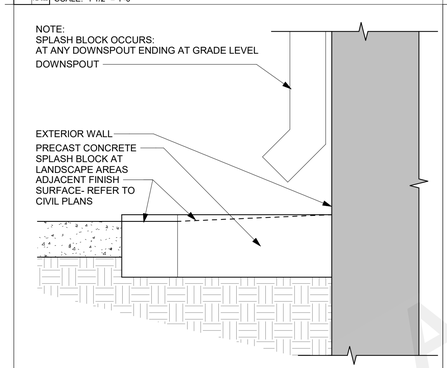
32 TYP. HEAD SLIDING GLASS DOOR

AD-902 SCALE: 3" = 1'-0"



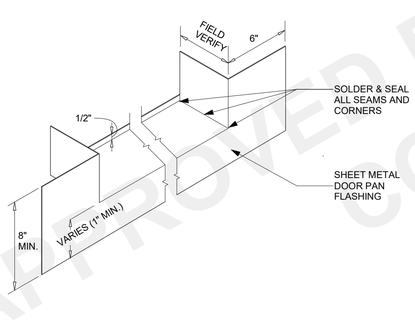
22 PLASTER - OUTSIDE CORNER

AD-902 SCALE: 3" = 1'-0"



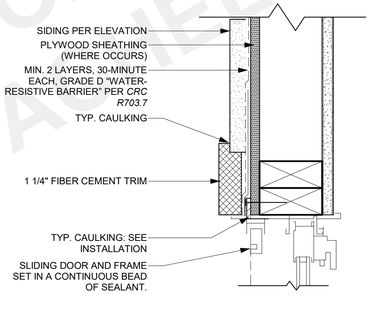
53 DOWNSPOUT TO SPLASH BLOCK

AD-902 SCALE: 1 1/2" = 1'-0"



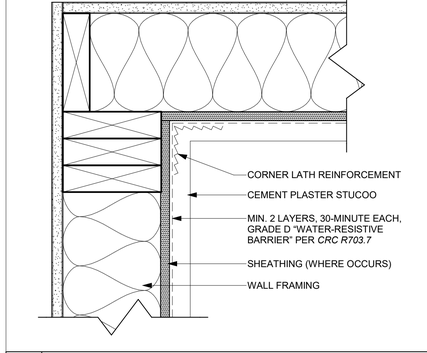
43 DOOR SILL PAN FLASHING

AD-902 SCALE: 1 1/2" = 1'-0"



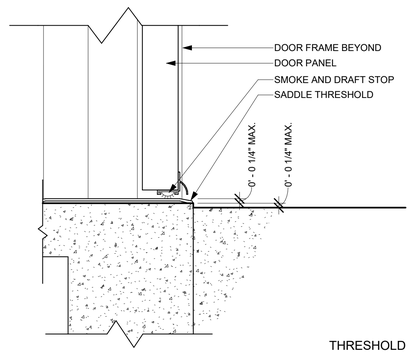
33 TYP. JAMB AT SLIDING GLASS DOOR

AD-902 SCALE: 3" = 1'-0"



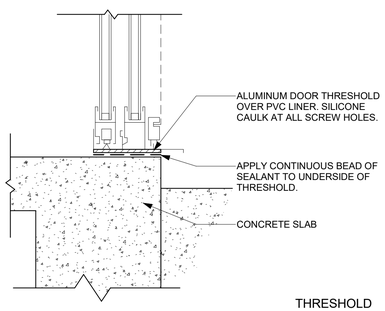
23 PLASTER - INSIDE CORNER

AD-902 SCALE: 3" = 1'-0"



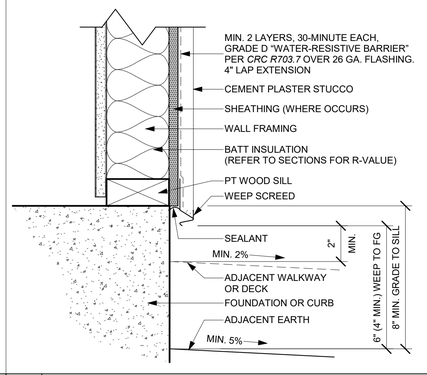
44 EXT. VINYL DOOR THRESHOLD

AD-902 SCALE: 3" = 1'-0"



34 DOOR-SLIDING GLASS - THRESHOLD

AD-902 SCALE: 3" = 1'-0"



24 PLASTER - FOUNDATION

AR-201 AD-902 SCALE: 3" = 1'-0"

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL DETAILS - COMMON

PUBLIC SET

DATE
01/11/24

SHEET
AD-902

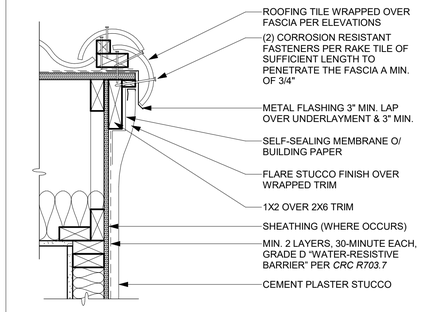
1/19/2024 8:55:05 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt

*ALL EXTERIOR LIGHTING MUST BE DARK SKY COMPLIANT

MAXIM LIGHTING - WHISPER DARK SKY EE 1-LIGHT OUTDOOR WALL LATERN OR EQUAL (8639BZ)

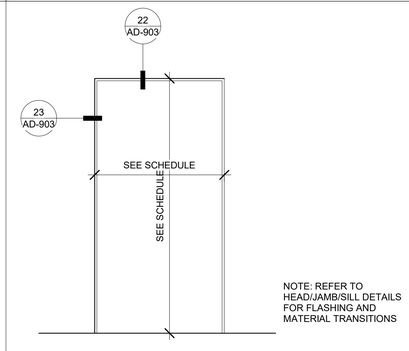
42 LIGHT FIXTURE - MISSION REVIVAL

AD-903 SCALE: 1 1/2" = 1'-0"



31 RAKE @ PLASTER - MISSION

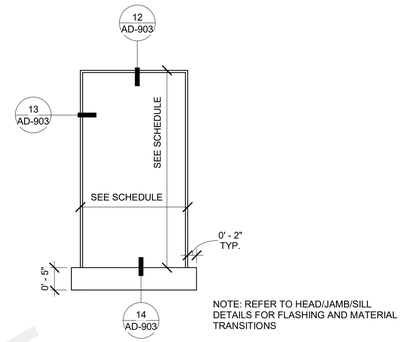
AD-903 SCALE: 1 1/2" = 1'-0"



NOTE: REFER TO HEAD/JAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

21 DOOR TRIM - MISSION REVIVAL

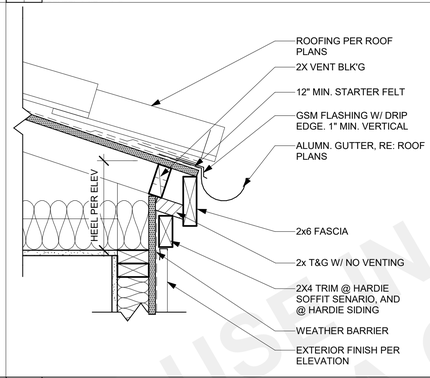
AS-201 AD-903 SCALE: 3/4" = 1'-0"



NOTE: REFER TO HEAD/JAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

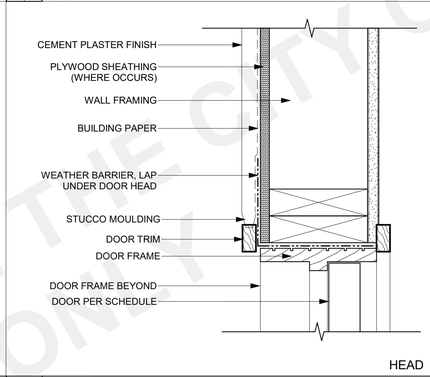
11 WINDOW TRIM - MISSION REVIVAL

AS-201 AD-903 SCALE: 3/4" = 1'-0"



32 EAVE @ PLASTER - MISSION

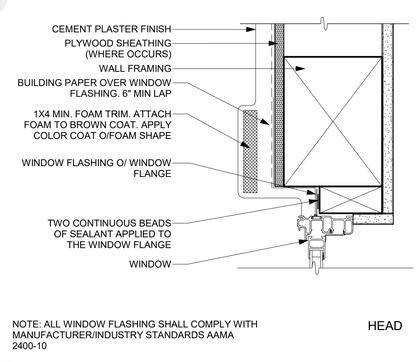
AD-201 AD-903 SCALE: 1 1/2" = 1'-0"



HEAD

22 DOOR HEAD - MISSION

AD-903 SCALE: 3" = 1'-0"

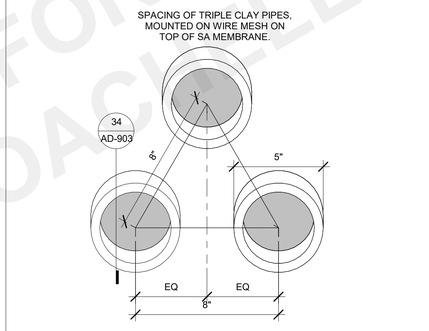


NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

HEAD

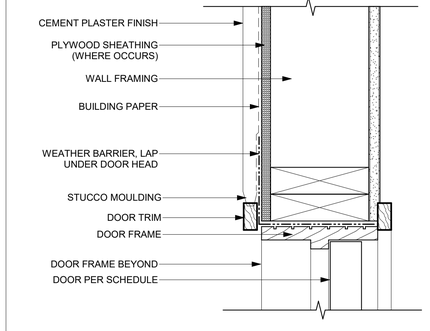
12 TYP. WINDOW HEAD

AD-903 SCALE: 3" = 1'-0"



33 DECORATIVE VENT SPACING

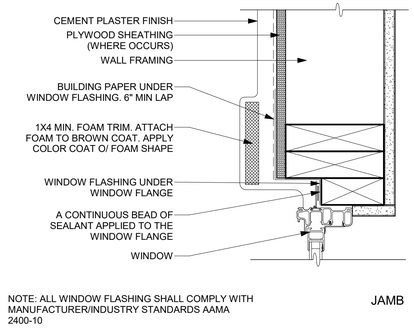
AD-903 SCALE: 3" = 1'-0"



JAMB

23 DOOR JAMB - MISSION

AD-903 SCALE: 3" = 1'-0"

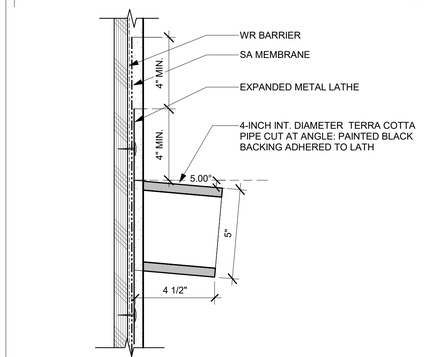


NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

JAMB

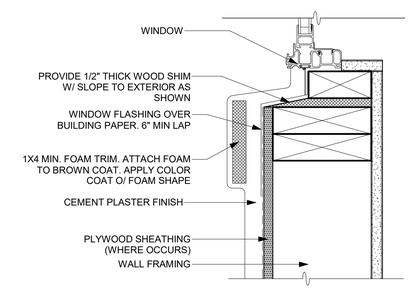
13 TYP. WINDOW JAMB

AD-903 SCALE: 3" = 1'-0"



34 DECORATIVE VENT ATTACHMENT

AD903 AD-903 SCALE: 3" = 1'-0"



NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

SILL

14 TYP. WINDOW SILL

AD-903 SCALE: 3" = 1'-0"

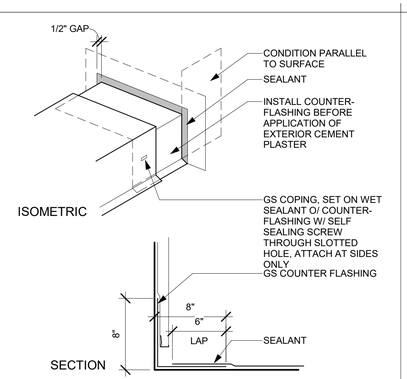
PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL DETAILS - MISSION REVIVAL

PUBLIC SET

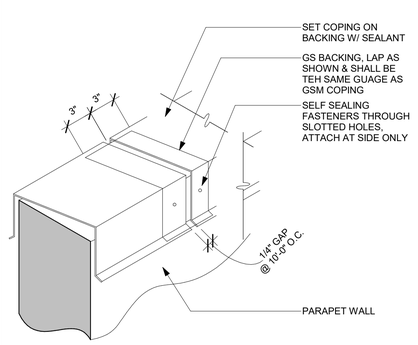
DATE
01/11/24

SHEET
AD-903



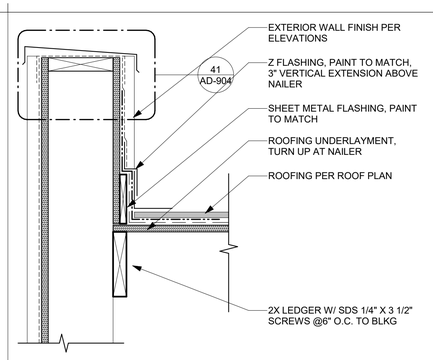
51 PARAPET COPING FLASHING

AD-904 SCALE: 1 1/2" = 1'-0"



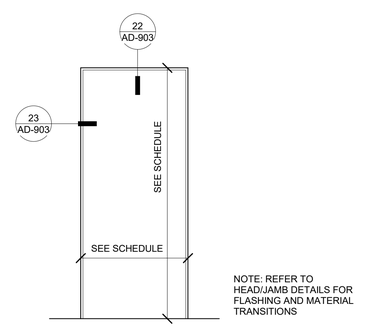
41 PARAPET FLASHING DETAIL

AD-904 AD-904 SCALE: 1 1/2" = 1'-0"



31 COUNTERFLASHING AT PARAPET

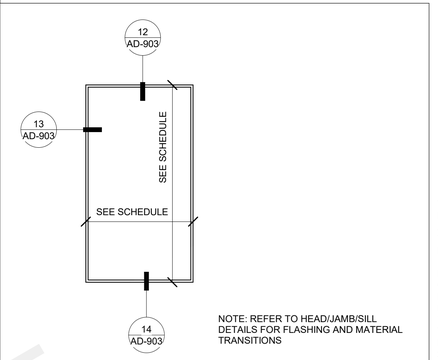
AB-202 AD-904 SCALE: 1 1/2" = 1'-0"



NOTE: REFER TO HEAD/JAMB DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

21 DOOR TRIM - DESERT MODERN

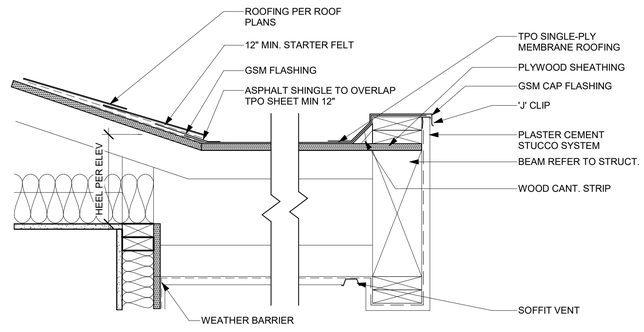
AB-202 AD-904 SCALE: 3/4" = 1'-0"



NOTE: REFER TO HEAD/JAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

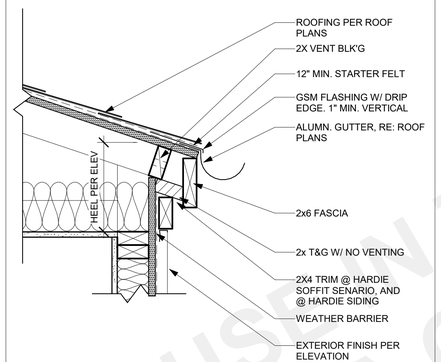
11 WINDOW TRIM - DESERT MODERN

AB-202 AD-904 SCALE: 3/4" = 1'-0"



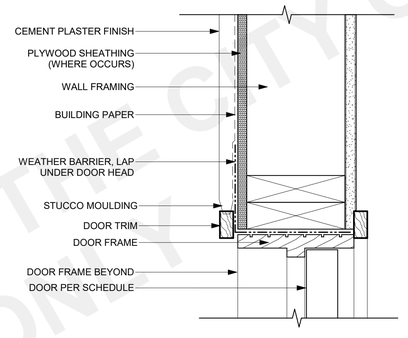
52 ROOF TO PORCH - DESERT MODERN

AD-904 SCALE: 1 1/2" = 1'-0"



32 EAVE @ PLASTER - MODERN

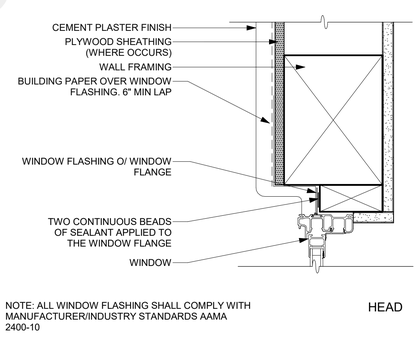
AD-904 SCALE: 1 1/2" = 1'-0"



HEAD

22 DOOR HEAD - MODERN

AD-904 SCALE: 3" = 1'-0"



NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

HEAD

12 TYP. WINDOW HEAD

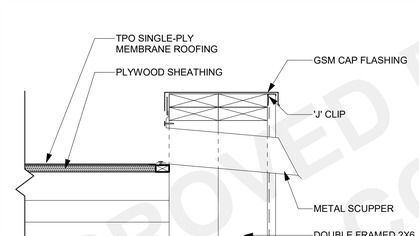
AB-202 AD-904 SCALE: 3" = 1'-0"

MAXIM LIGHTING FOCUS 1-LIGHT 14.5-IN. BLACK INTEGRATED OUTDOOR WALL LIGHT.
MODEL # 55892BGBK

OR EQUAL DARK SKY COMPLIANT FIXTURE PER ZONING REGULATIONS SECTION 17.70.100.

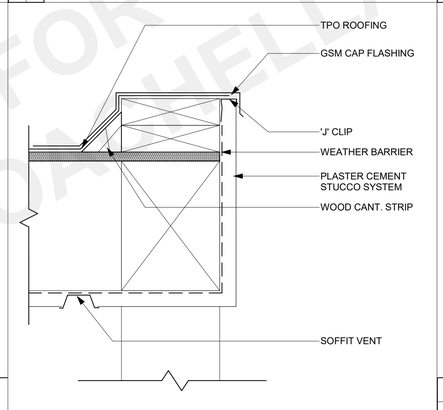
53 LIGHT FIXTURE - DESERT MODERN

AD-904 SCALE: 1 1/2" = 1'-0"



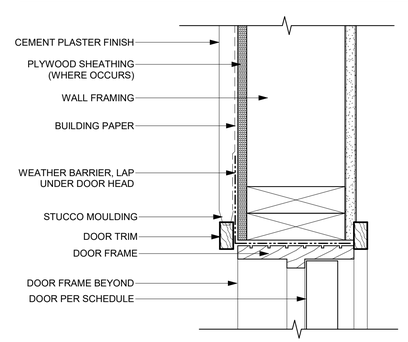
43 ROOF SCUPPER - DESERT MODERN

AD-904 SCALE: 1 1/2" = 1'-0"



34 POST CAP AND BASE - MODERN

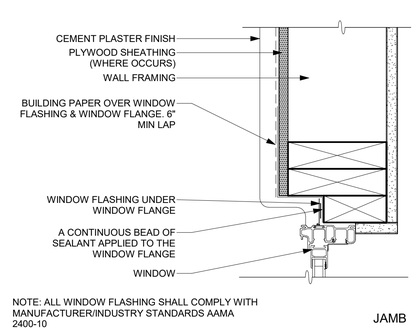
AD-904 SCALE: 3" = 1'-0"



JAMB

23 DOOR JAMB - MODERN

AD-904 SCALE: 3" = 1'-0"

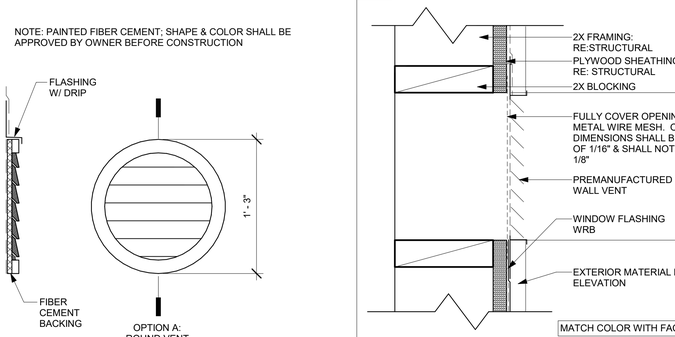


NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

JAMB

13 TYP. WINDOW JAMB

AD-904 SCALE: 3" = 1'-0"



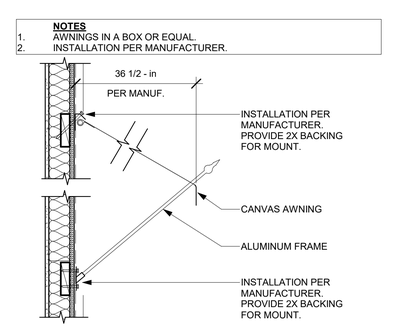
54 CIRCLE VENT

AD-904 SCALE: 1 1/2" = 1'-0"

NOTE: DETAIL PROVIDED FOR ADDITIONAL VENTING WHEN REQUIRED BY SPECIAL CIRCUMSTANCES

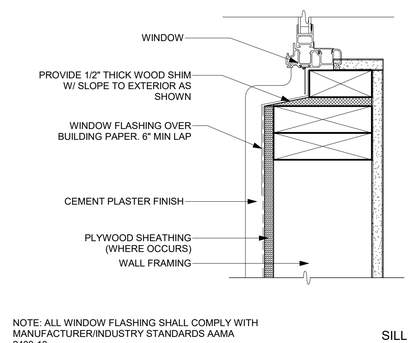
44 WALL VENT

AD-904 SCALE: 3" = 1'-0"



24 AWNING - MODERN

AD-904 SCALE: 1" = 1'-0"



NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

SILL

14 TYP. WINDOW SILL

AB-202 AD-904 SCALE: 3" = 1'-0"

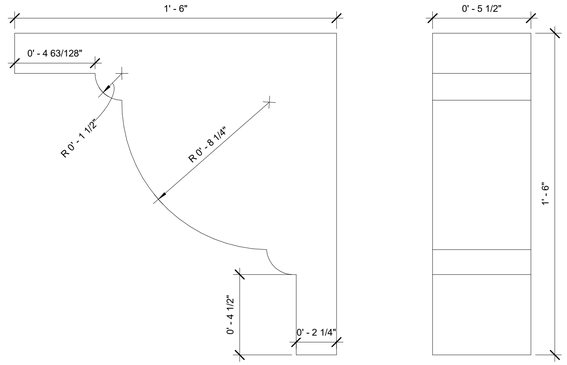
PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL DETAILS - DESERT MODERN

PUBLIC SET

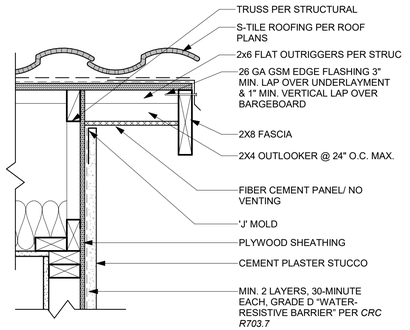
DATE
01/11/24

SHEET
AD-904



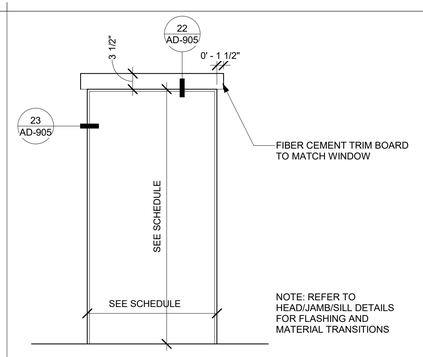
51 DECORATIVE CORBEL - SPANISH LARGE

AD-905 SCALE: 3" = 1'-0"



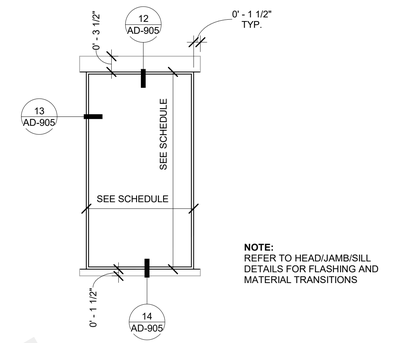
31 RAKE @ PLASTER - SPANISH COLONIAL

AS-203 AD-905 SCALE: 1 1/2" = 1'-0"



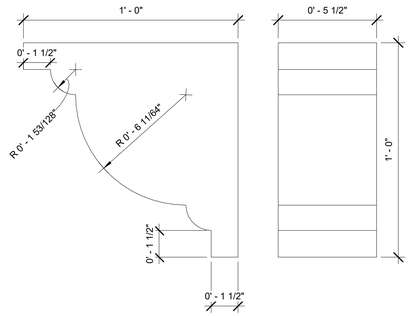
21 DOOR TRIM - SPANISH COLONIAL

AD-905 SCALE: 3/4" = 1'-0"



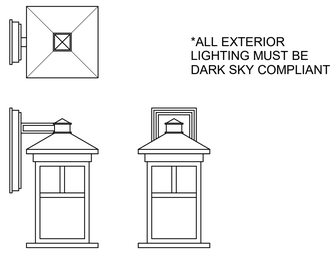
11 WINDOW TRIM - SPANISH COLONIAL

AS-203 AD-905 SCALE: 3/4" = 1'-0"



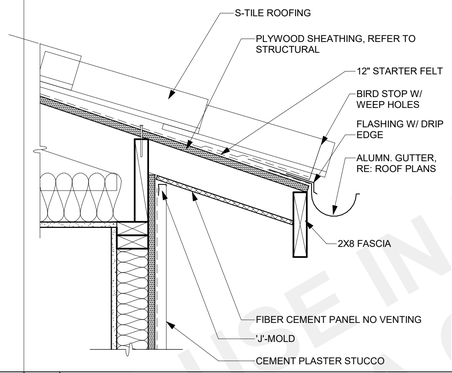
52 DECORATIVE CORBEL - SPANISH PORCH

AD-905 SCALE: 3" = 1'-0"



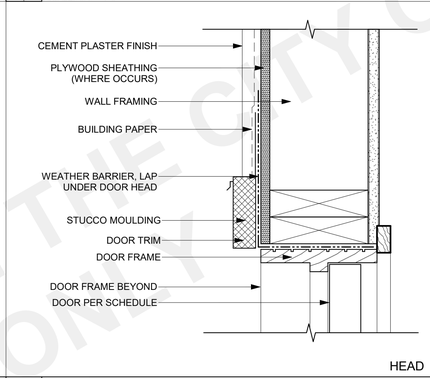
42 TYP. LIGHT FIXTURE - SPANISH

AD-905 SCALE: 1 1/2" = 1'-0"



32 EAVE @ PLASTER - SPANISH COLONIAL

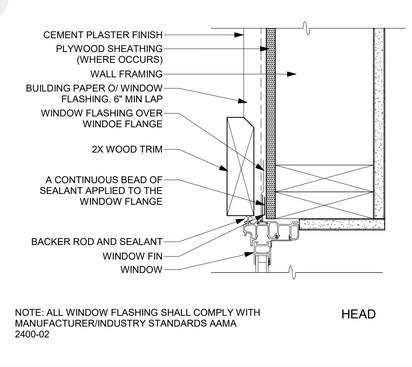
AS-203 AD-905 SCALE: 1 1/2" = 1'-0"



HEAD

22 DOOR HEAD - SPANISH

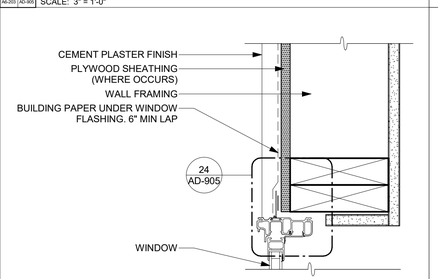
AD-905 SCALE: 3" = 1'-0"



HEAD

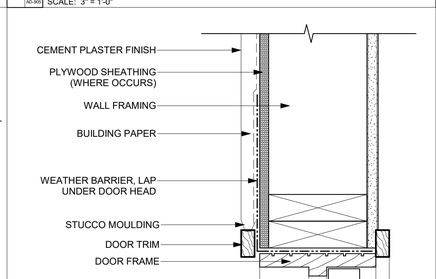
12 TYP. WINDOW HEAD

AS-203 AD-905 SCALE: 3" = 1'-0"



23 DOOR JAMB - SPANISH

AD-905 SCALE: 3" = 1'-0"



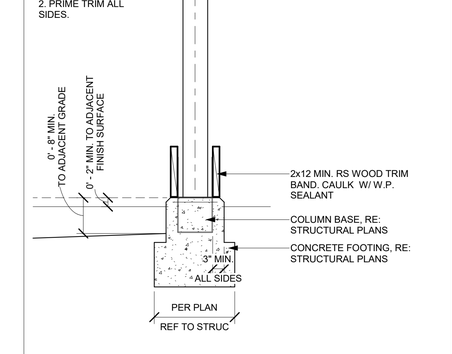
JAMB

13 TYP. WINDOW JAMB

AS-203 AD-905 SCALE: 3" = 1'-0"

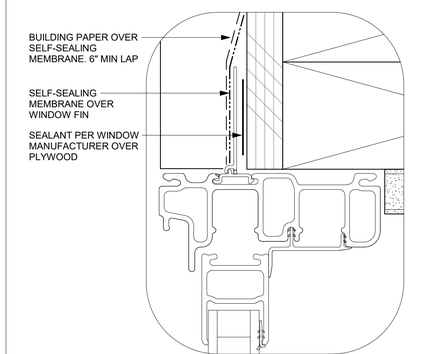
44 RAILING - METAL

AD-905 SCALE: 1" = 1'-0"



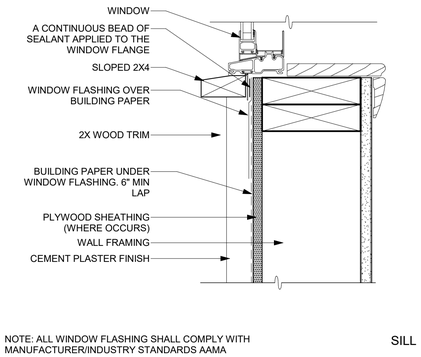
34 POST W/ ROOF - SPANISH

AD-905 SCALE: 3/4" = 1'-0"



24 DETAILED JAMB FLASHING

AD-905 AD-905 SCALE: 12" = 1'-0"



SILL

14 TYP. WINDOW SILL

AS-203 AD-905 SCALE: 3" = 1'-0"

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL DETAILS - SPANISH COLONIAL

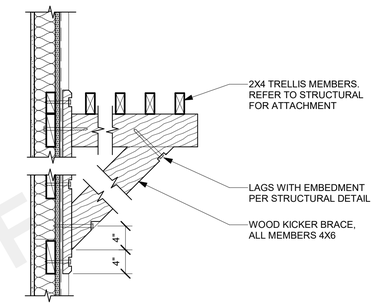
PUBLIC SET

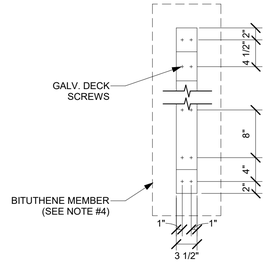
DATE
01/11/24

SHEET
AD-905

NOTES

1. PRE-PRIME ALL SIDES OF BRACE FRAMING PRIOR TO INSTALLATION. TYPICAL
2. A SELF SEALING MEMBRANE SHALL BE INSTALLED BEHIND WALL TRIM & EXTEND 6" BEYOND WALL TRIM AND 4" MIN. LAP O/WEATHER BARRIER
3. CAULK AROUND TOP & SIDES OF 4X AT WALL PENETRATION.
4. A BITUTHENE MEMBRANE SHALL BE INSTALLED BEHIND 4X6 BRACE W/ 4" LAP MIN.





12 BRACE W/ KICKER - TRELLIS

AD-906 SCALE: 1" = 1'-0"

City of COACHELLA est 1946

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

PROTOTYPE ADU
2 CAR GARAGE COVERSION
COACHELLA, CA

ARCHITECTURAL DETAILS - SPANISH COLONIAL

PUBLIC SET

DATE
01/11/24

SHEET
AD-906

11/9/2024 8:55:07 AM
Autodesk Docs://2939_Coachella ADUs/2939-01_Coachella ADUs_Garage Unit.rvt