

The background of the entire page is a photograph of a desert landscape. In the foreground, there are several tall palm trees with green fronds and brown trunks. In the background, there are brown, rocky mountains under a blue sky with some white clouds. A large, semi-transparent orange circle is centered on the page, containing the title text.

# KPC Coachella SPECIFIC PLAN

*October 2025*



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# KPC COACHELLA SPECIFIC PLAN

*Prepared For:*

**CITY OF COACHELLA**

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October 2025

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# **SECTION 1**

## Introduction



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## 1.1 Executive Summary

The KPC Coachella Specific Plan serves as the guiding document for future development with the Specific Plan area, located in the City of Coachella within the Coachella Valley region of Riverside County. The plan sets the regulatory framework that provides design guidance, development regulations, and implementation measures for build-out of the Specific Plan area over the next 30+ years.

The KPC Coachella Specific Plan proposes a master planned community on approximately 2,808 acres of currently undeveloped land within the City of Coachella. The plan proposed the following land uses:

- A mixture of residential product types, including an active adult/senior-oriented village, totaling approximately 9,536 dwelling units;
- 220 acres of mixed-use areas, which include commercial retail, high-density residential, resort, and entertainment uses;
- A college/university overlay to allow for institutions of higher learning with an emphasis on healthcare;
- 71 acres of schools (3 elementary schools and 1 middle school);
- 379 acres of parks, greenways, and amenity centers;
- 179 acres of circulation uses, including arterials, major, and secondary roadways;
- 68 acres of Agricultural Production areas; and
- 723 acres of natural open space, including drainage channels and trails.

The KPC Coachella Specific Plan will include an extension of Vista Del Norte road from the west and a connection with the new Avenue 50 interchange at Interstate 10.

## 1.2 Location

The Specific Plan area (plan area) is located along the foothills of the Little San Bernardino Mountains on the eastern flank of the Coachella Valley, north of the Salton Sea (see Figure 1-1, *Regional Location Map*). The site is located north of Interstate 10 (I-10) and east of the Coachella Branch of the All-American Canal (also known as the “Coachella Canal”). See Figure 1-3, *Project Vicinity Map* for the project’s location within the region. A new interchange at Avenue 50 will provide regional access to the site from I-10. The plan area consists of approximately 2,800 gross acres within the City of Coachella.

## 1.3 Existing Conditions

### 1.3.1 Ownership/Assessor Parcel Information

The plan area is approximately 2,800 acres of vacant, undeveloped land owned primarily by The KPC Group. The plan area is comprised of 50 parcels, as shown in Figure 1-4, *Ownership and Parcel Information*. Figure 1-4 also shows the parcel line delineations, acreage, and assessor parcel numbers (APN) for each parcel. Approximately 90 acres in the central portion of the project area are owned by others and are designated as “Not a Part” on the land use plan for the project. These three areas are identified in the Conceptual Specific Plan and its land use table (see Figure 2-2) but are not a part of the Specific Plan for entitlement purposes.

### 1.3.2 Existing General Plan Land Uses/Existing Zoning

The KPC Coachella Specific Plan is located within the City of Coachella. The following are the respective existing general plan land use and zoning classifications for the plan area.

#### ***General Plan Land Use***

The Specific Plan area is comprised of a Resort District designation as shown on Figure 4-23, *General Plan Designation Map*, of the Coachella General Plan Update 2035, adopted in 2015.

The Specific Plan area is identified in the General Plan as Subarea 13, The Uplands/Desert Lakes. The General Plan outlines a process for development in the various subareas of the City, starting with Due Diligence on the part of the landowner to identify existing conditions and site constraints. This is followed by a pre-application phase to identify connectivity with the citywide street network, identify a street network for the specific project, and identify a net development yield based on the mixture of development districts. Preparation of the KPC Coachella Specific Plan represents the required “Master Plan” for the property.

The policy direction for Subarea 13 is to:

- Maintain Resort and Open Space General Plan designations for this subarea.

*The Specific Plan land use includes both open space and resort uses within the subarea, as well as other complementary uses such as schools, agriculture, higher education, and medical uses.*

- Facilitate good roadway connectivity to Dillon Road. The network illustrated by Figure 4-1 could be adjusted to account for topography and physical constraints as long as the envisioned connectivity is maintained.

*The Specific Plan circulation network provides two primary circulation access points: a connection to Avenue 50 and its future interchange with I-10, and an extension of Vista Del Norte, which connects to Dillon Road.*

- Prior to development, prepare a single conceptual Specific Plan for the subarea that establishes a long-term vision, land uses and an implementation program. Separate implementing project level specific plans may be prepared for individual projects.

*Figure 2-2 illustrates a conceptual Specific Plan which includes all of Subarea 13. The primary land uses are shown within the property controlled by KPC. The two outparcels on the project's east and west are identified as Open Space, consistent with the Land Use diagram of the General Plan. Potential future points of access are also shown to these two areas.*

- Minimize grading of the subarea and follow the natural topographic features during the planning and development process.

*The property includes areas of steep slopes adjacent to the proposed points of access at the Avenue 50 interchange. The interchange will result in significant grading in this area to accommodate the proposed improvements, primarily accomplished through plans developed by others. The Specific Plan will utilize the Riverside County grading standards as the City has no adopted grading ordinance. The Design Guidelines in this document include Hillside Grading guidelines that encourage the use of landform grading where possible.*



- Require that public facilities and services be provided concurrently with the development to ensure a high quality of life for residents.

*The Specific Plan land uses are supported by local schools, residential, and commercial uses to create a cohesive community. A fire station will be provided in one of the proposed villages.*

- Require rural and clustered development in steeper and topographically constrained areas.

*Upper more steeply sloped areas of the plan include low/very low-density development. The overall land use plan is clustered to avoid seismic zones, steep slopes, and drainage corridors.*

- Require new developments be designed for, and provided with, adequate public services and infrastructure to be self-sufficient in the event of a large earthquake.

*The Specific Plan land uses are supported by local schools, residential, and commercial uses to create a cohesive community. An on-site fire station will be provided in one of the proposed villages.*

- Require the primary boulevards to be designed, constructed and operated as multi-modal boulevards, not wide high-speed streets.

*All of the arterial and collector streets within the Specific Plan area are designed to incorporate either on-street/Class II bike lanes or off-street/Class I multipurpose trails connecting to an overall trails network throughout the site as shown in the Specific Plan Land Use exhibit (Figure 2-3).*

- Limit all resort development to a density of no more than 4 DU/AC.

A total of over 9,500 dwelling units is proposed within the wider Conceptual Specific Plan area for Subarea 13. Over the 2,800 acres in the development area of the plan, this results in an overall gross density of 3.4 du/acre.

- Final designation mix should be:
  - 20 to 30 percent Open Space
  - Up to 25 percent Agricultural Rancho and Open Space
  - Up to 50 percent Rural Rancho
  - Up to 10 percent General Neighborhood
  - Up to 3 percent Suburban Retail District
  - Up to five percent Neighborhood Center
  - Up to 60 percent Resort

## **Zoning**

The plan area is comprised of land with three different zoning designations, including:

- General Commercial (C-G)
- Residential Single Family (R-S)
- Open Space (OS)

The General Commercial zoning district is focused along Interstate 10 with Single Family Residential uses in the northeast portion of the plan area and narrow strips of Open Space permeating throughout. A change of zone will be processed for the project, with a resulting zoning designation of *Specific Plan*.

### **1.3.3 Surrounding Uses**

The plan area is located in the northeast corner of the City of Coachella, surrounded entirely by undeveloped desert land agricultural uses and the Coachella Landfill.

Interstate 10 runs east to west along the entire length of the southern border of the plan area. Further south is undeveloped land which is currently entitled as part of the La Entrada Specific Plan. Agricultural uses across the All-American Canal, which runs northwest/southeast and comes up to form the western boundary of the plan area.

The areas north of the plan area include a triangular swath of agricultural land, a landfill operated by Burrtec Waste Industries, and the foothills of the Little San Bernardino Mountains. A Southern California Edison (SCE) utility easement runs northwest to southeast through northeast portion of the plan area and continues in both directions. Additionally, two separate gas pipeline easements further north run roughly parallel to the SCE easement through the property. The eastern boundary of the plan area runs along the eastern boundary line for the city. The plan area is approximately three miles to the northeast of Coachella's downtown business district.

### **1.3.4 Topography**

The KPC Coachella Specific Plan area lies in the foothills of the Little San Bernardino Mountains. On-site there are several northeast-southwest running ridges cut by adjacent flat alluvial drainage ways. The plan area is generally flatter towards the northeast portion of the site, with most slopes ranging between zero and ten percent. Steeper slopes are concentrated along the western and southern portions of the plan area.

### **1.3.5 Vegetation**

There is limited on-site vegetation currently as the site is currently undisturbed, open, hilly and undeveloped desert area with minimal vegetation, except for small native trees, shrubs and annual grassland. The area is primarily rocky exposed soils with scattered small shrubs and trees, brush, and flowers.

### **1.3.6 Circulation and Access**

The plan area is entirely undeveloped land with no current internal circulation. Primary access will be provided by an interchange on Interstate 10 to be constructed as part of the La Entrada project directly to the south of the plan area. Secondary access to the site will be provided from the west via Vista Del Norte, which will be expanded from the current two-lane configuration to handle the additional traffic generated by the KPC project.

### **1.3.7 Infrastructure and Utilities**

The existing infrastructure facilities within the plan area include an IID transmission line and towers that run northwest from the southeast boundary of the plan area through the northern boundary. This includes a public utility easement. There are currently no other existing infrastructure facilities within the plan area.



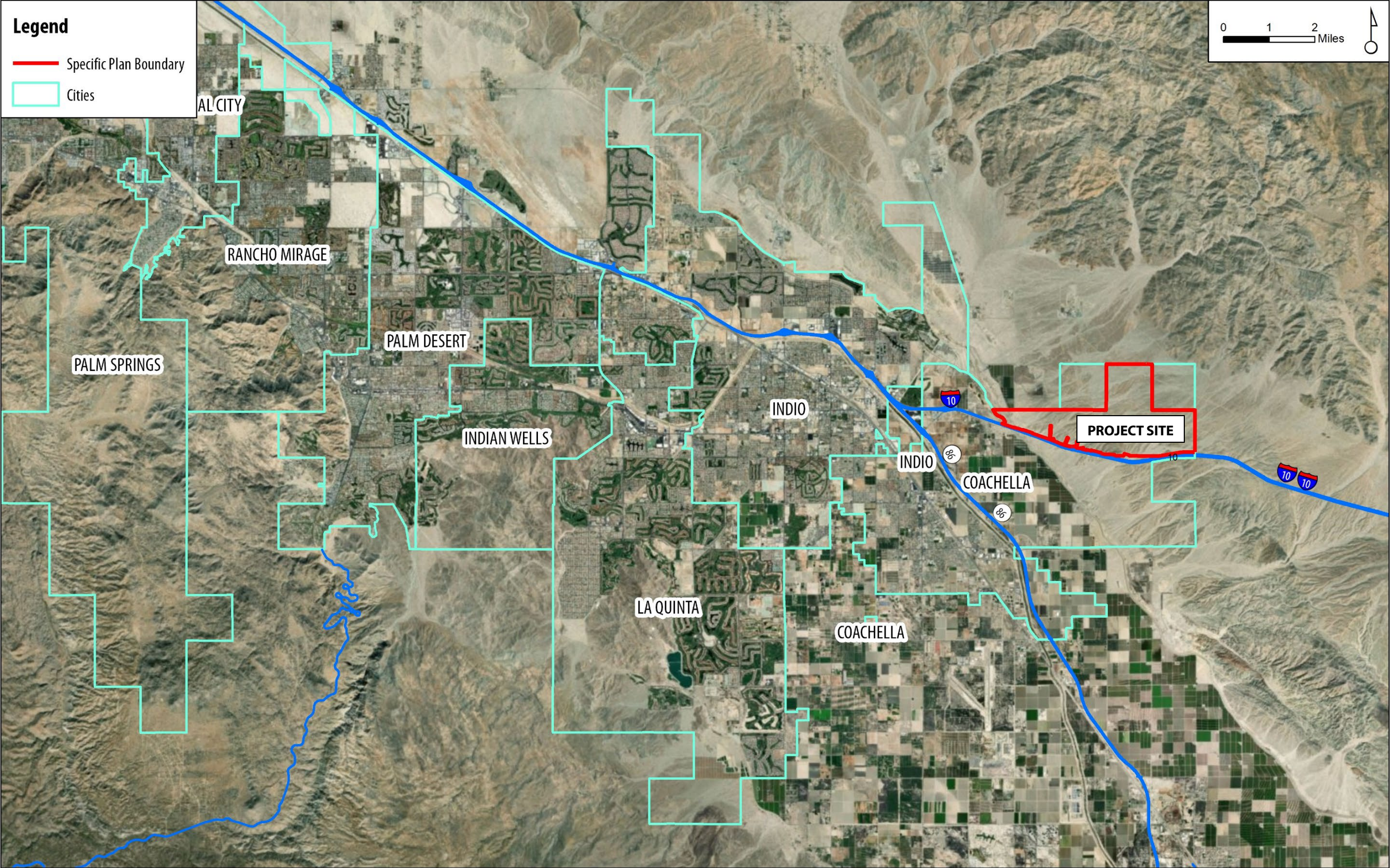


FIGURE 1-1: REGIONAL LOCATION MAP



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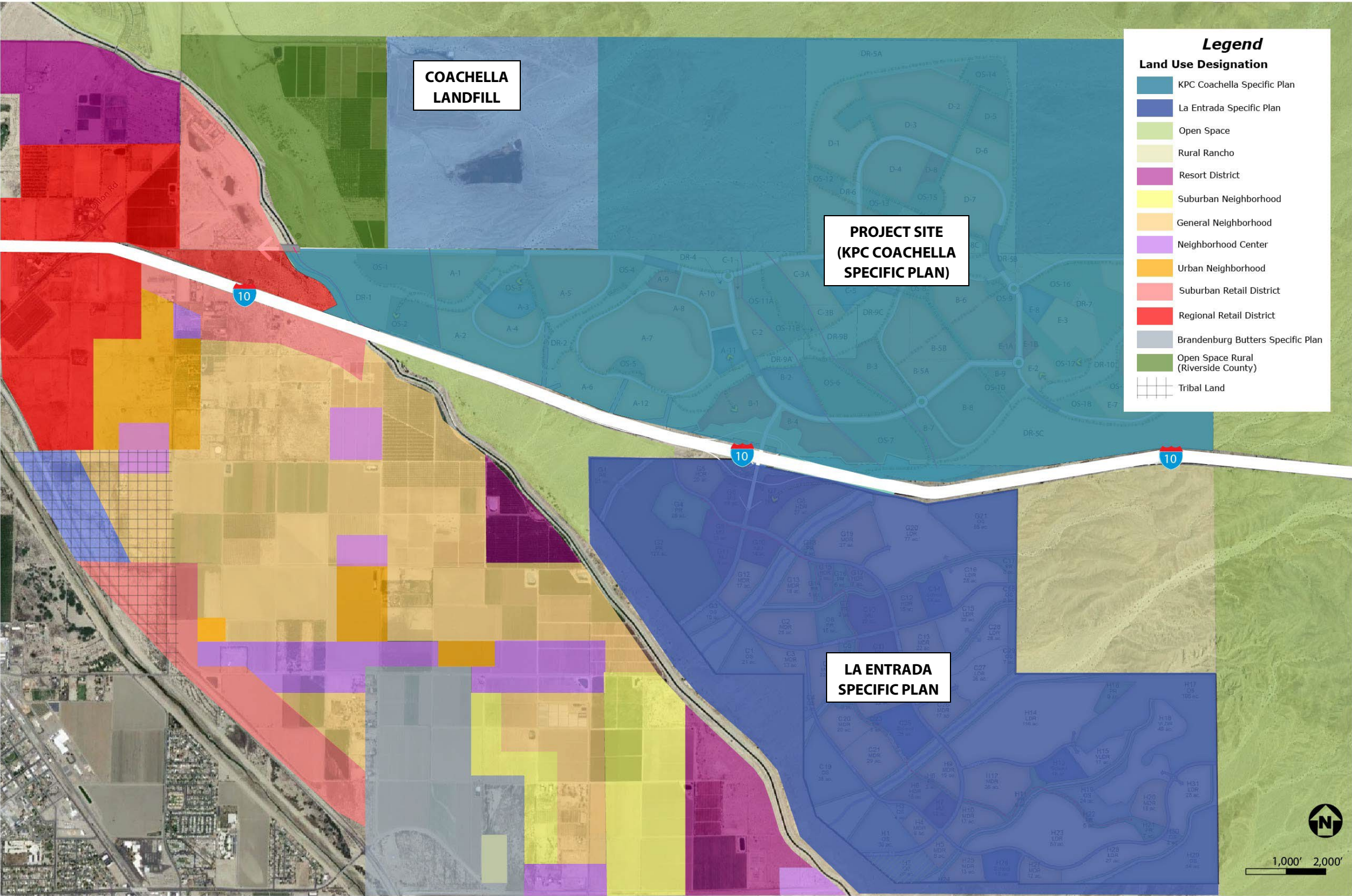


FIGURE 1-2: SURROUNDING GENERAL PLAN LAND USES



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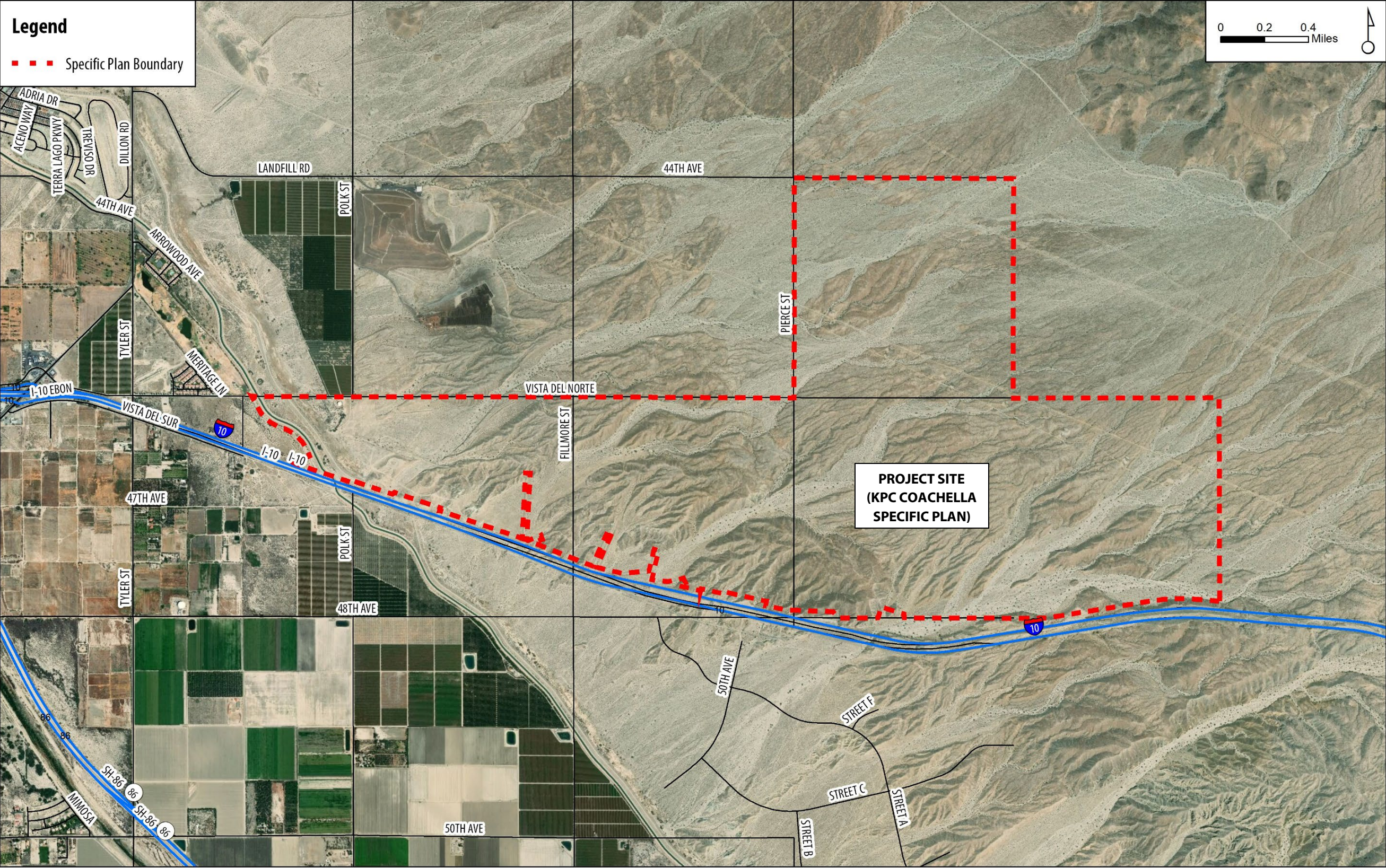


FIGURE 1-3: PROJECT VICINITY MAP



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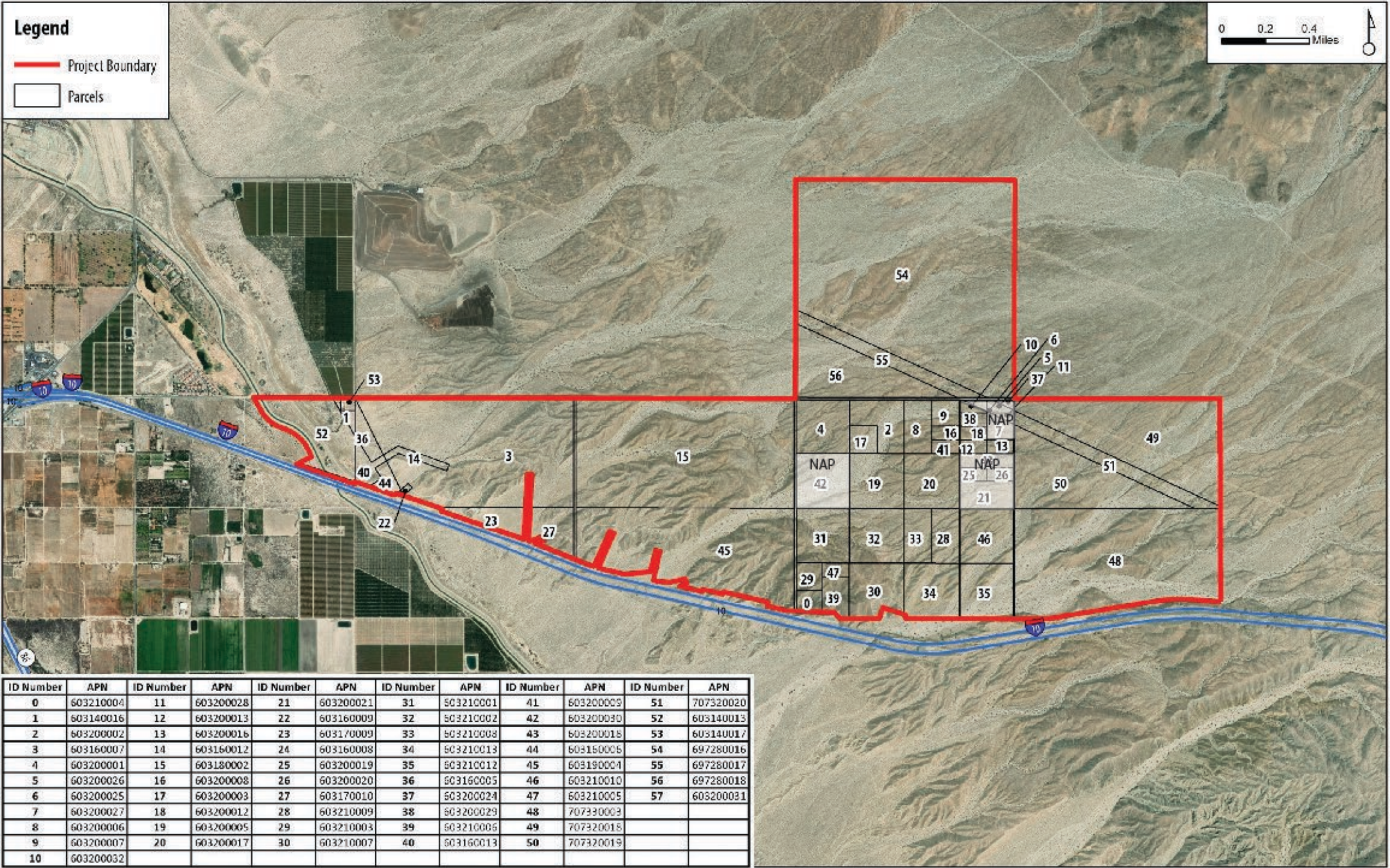


FIGURE 1-4: OWNERSHIP AND PARCEL INFORMATION



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### 1.3.8 Geology and Soils

The Specific Plan area is located in the Salton Trough that comprises a portion of the Colorado Desert geomorphic province. The KPC Coachella Specific Plan area is underlain by mid- to late-Quaternary sedimentary units consisting of the (oldest to youngest) Canebrake, and Palm Spring Formation, and Ocotillo Conglomerate, as well as fluvial/alluvial deposits associated with the current drainages located on-site that primarily result in sand and gravel in the area.

The Specific Plan area is located in the Colorado Desert region of southern California, which has an arid climate. Temperatures range from 46 degrees to over 112 degrees Fahrenheit. Prevailing winds typically come from the south and east. Rainfall in the project area is seasonal, with the largest amounts of rainfall occurring during the months of November through January. In addition, thunderstorms occur during the summer months (typically August) that generate short-term rainstorms with occasional flooding.

### 1.3.9 Drainage/Hydrology

Drainage within the Plan Area is defined primarily by the series of northeast-southwest running ridges which shape the alluvial drainage channels that have the potential to carry large amounts of water runoff during large storm events. Water collects further to the northeast in the Little San Bernardino Mountains where it sheet flows into the Plan Area and funnels into the existing drainage channels. Due to the rocky, compacted nature of the soil along the ridges and minimal plant material, there is little opportunity for infiltration during large storm events. Surface water then flows in a southwesterly direction, under I-10 and through the La Entrada Specific Plan area, until it terminates at the Eastside Dike, then flowing southeasterly to Wasteway No. 2, which conveys the water to the Whitewater River and ultimately to the Salton Sea.

## 1.4 Purpose and Objectives

### 1.4.1 Vision

The vision of the KPC Coachella Specific Plan is to create a new multi-use community that provides entertainment and commercial shopping opportunities, educational and vocational opportunities, a variety of housing types, schools, parks, and open space for the City of Coachella.

The plan area, in conjunction with the previously approved La Entrada development directly to the south, form a vibrant and iconic eastern entrance to the City of Coachella that creates a strong sense of arrival.

### 1.4.2 Project Objectives

The project objectives for the KPC Coachella Specific Plan outline the structure for implementing the overall vision described in the previous section. These objectives are important in ensuring both the success of the project and the benefit to the City of Coachella.

The KPC Coachella Specific Plan project objectives include:

- Create a well-designed master planned community with a diverse mixture of uses, clear and efficient multi-modal transportation options, a regional commercial entertainment attraction, and expansive open programmed and natural open spaces opportunities;
- Establish a well-thought-out land use plan that places high-activity uses such as the entertainment uses in a concentrated resort district to increase their attraction ability through

mutual synergy of uses, and lower intensity uses such as residential and the planned active adult community in serene locations away from Interstate-10;

- Accommodate land uses which focus on wellness, including a wellness university overlay and a mixed-use medical area near the central core of the community;
- Accommodate a wide range of residential densities in strategic locations that provide future residents with options for different housing types and prices while maintaining a cohesive neighborhood identity;
- Provide a variety of open space opportunities, including planned and programmed neighborhood parks, passive recreation corridors, and a trail system that increases connectivity both within and outside of the plan area;
- Implement a circulation plan with roadways that are consistent with the established General Plan Roadway Classifications for the City and creates connections to Vista Del Norte Avenue to the west as well as the planned new Interstate-10 interchange proposed as part of the La Entrada project;
- Develop a site plan that works harmoniously with the on-site environmental elements, including existing topography and drainage channels;
- Promote the use of green building practices and sustainable development methods throughout the project; and
- Implement community design and landscaping elements that are cohesive with and complement the unique Coachella Valley environment.

## 1.5 Sustainability Community Design Strategies

Various constraints can impede development within California. Often these constraints are focused on limited or inadequate access to necessary resources upon which our communities rely. Communities attempt to address geographic constraints through sustainable community design strategies. In the KPC Coachella Specific Plan, sustainable community design strategies take into consideration the factors endemic to the City of Coachella, Coachella Valley, and site specific constraints such as steep topography, existing drainages, and unique physical site characteristics. Furthermore, these strategies provide a resiliency framework for developments to acclimate to changing climactic conditions. An important tenet of sustainable development is the efficient use of available resources coupled with maintaining a healthy balance between natural open space areas and developed areas; this approach is reflected in the proposed land use plan concept, roadway network, and trail system. In addition, many areas within the Specific Plan are identified for low impact development or preservation as open space in accordance with existing topography and general plan sustainability goals. In many of these areas, development (or more intense use) would require a significant amount of resources to overcome the geographic constraints.

### 1.5.1 Purpose and Approach

Given the location of the project site and its proximity to developed areas of the Coachella Valley, the KPC Coachella Specific Plan is making an effort to reduce its impact on the environment and create opportunities for establishment of a community that is focused on meeting residents' and businesses needs to the greatest extent. The sustainable community design strategies identified within the KPC

Coachella Specific Plan are intended to reduce and/or minimize negative environmental impacts, while improving and enhancing the economic and social conditions within this portion of the City.

The main purpose of these strategies is to:

- Provide guidance and feedback for future development of the KPC Coachella Specific Plan that promotes efficient and sensible use of the available resources at the time development occurs and throughout the lifespan of the project; and
- Allow future residents to enjoy a high-quality development that minimizes physical impacts to the natural environment and maximizes economic utility and social cohesion.

Based on this, the approach to sustainable community design within the KPC Coachella Specific Plan is focused on the following areas:

- Site Planning/Neighborhood Design (including mobility)
- Energy Efficiency
- Materials Efficiency
- Water Efficiency
- Occupant Health and Safety
- Landscape Design/ Low Impact Development
- Resource Conservation
- Local Sustainability and Climate Compliance

Individual builders or developers are expected to demonstrate implementation of relevant strategies as part of the design/site plan review process. They are also expected to comply with Appendix A which ensures all developments within the KPC specific plan are aligned with and often exceed the city's sustainability and climate goals.

Detailed discussion of each of these topics is provided below.

### **1.5.2 Site Planning/Neighborhood Design**

The KPC Coachella Specific Plan incorporates sustainable site planning strategies, many of which rely on the proper siting and layout of a proposed development/building. Sustainable Community Design Strategies for Site Planning within KPC Coachella include:

#### ***Land Use Pattern***

- Development of a mobility network that complements the topography of the site and provides pathways for vehicular and non-vehicular travel using an interconnected street system, pedestrian and cycling trails and pathways, and neighborhood electric vehicle facilities;
- Prohibition of development within floodplains on-site and integrate appropriate setbacks/buffers and passive recreational amenities within these areas into the land use plan;
- Allow for and encourage multi-generational housing, higher density and mixed use, and second housing units within appropriate residential and mixed use areas of the plan;

- Develop to avoid potential hazards from flooding, landslides, wildfires, and earthquakes based on present and future exposure and risk.

### ***Walkability/Mobility***

- Promote walkable and safe streets by designing streets to meet complete streets standards.
- Promote walkability, design and build the internal (in-tract) circulation network to meet a high number of intersections per square mile.
- Development of each Mixed-Use Planning Area should strive to incorporate features that promote pedestrian use by providing an attractive pedestrian environment.
- Ease and increase pedestrian access to and from residential, commercial, and mixed-use developments by orienting off-street parking to the side or rear of buildings,
- Provide access to civic and/or public use spaces (parks, trails, squares) through project-wide trail and paseo systems;
- Prioritize pedestrian and bicycle mobility as primary transportation modes,
- Include bicycle storage/parking facilities into new multi-family residential, commercial, and community uses, and integrate bicycle paths/trails into the non-vehicular circulation network;
- Encourage the use of alternative transportation modes such as public transit, by providing a well-rounded transportation system integrated with the system for the Coachella Valley to increase access to areas in the plan area and the Coachella Valley as a whole.
- Improve physical and mental health and social capital by providing a variety of recreational facilities close to work and home to facilitate physical activity and social networking; and
- Promote community interaction and engagement by integrating schools into the neighborhoods of the plan. Support students' health by providing safe walking and cycling routes to and from schools.

### ***Solar Orientation***

- Promote building orientation to maximize solar production by:
  - Encourage building orientation to create the largest amount of solar generation for each proposed use in accordance with Coachella General Plan Policies 2.1 and 2.2.
  - Place landscaping within appropriate locations to provide adequate shading and wind protection (depending on prevailing wind conditions and solar orientation).

### **1.5.3 Energy Efficiency**

Development within the KPC Coachella Specific Plan is to be a model of energy efficiency, using various energy conservation and generation practices. New electric, natural gas, and communication lines will be constructed to the most recent applicable codes and requirements, providing appropriate services to serve the new community. As part of the electrical system, the planning areas within the KPC Coachella Specific Plan will be designed to maximize the use and generation of renewable energy on-site, while a robust green building program for all new buildings will reduce reliance on non-renewable energy.

Sustainable Community Design Strategies for Energy Efficiency within KPC Coachella include the following elements:

- Design to USGBC LEED, GreenPoint Rated standards, in addition to exceeding the most current Title 24 energy efficiency and CALGreen building standards;
- Installation of energy-efficient lighting and incorporation of solar photovoltaic lighting fixtures in all common areas of the site;
- Promote green building techniques that increase building energy efficiency above the minimum requirements of Title 24, in accordance with the general plan's energy efficiency goals;
- Utilize high albedo materials for paving and roofing materials.

#### 1.5.4 Materials Efficiency

The KPC Coachella Specific Plan's sustainable approach to materials selection encourages the inclusion of recycled or reused, and locally produced or harvested materials. It also focuses on having earthwork activities on-site that use onsite materials in a balanced manner to minimize truck hauling and reduce the need for quarried materials.

Sustainable Community Design Strategies for Materials Efficiency within KPC Coachella include:

- Materials used for buildings, landscape, and infrastructure will be chosen with a preference for those that are: rapidly renewable, locally sourced, recycled, employ heat island reducing qualities, and use sustainable harvesting practices.
- New building construction practices will incorporate on-site and/or off-site separation of solid wastes, recyclable paper, plastic, glass and metal objects, and compostable organic materials, which will be compatible with municipal recycling services and are designed to achieve the goal of 75% diversion of solid waste to landfills; and
- Specify on-site infrastructure materials to include recycled content (from pre-consumer recycled materials, post-consumer recycled materials, and in place reclaimed materials) to the extent feasible and available locally.

#### 1.5.5 Water Efficiency

The KPC Coachella Specific Plan employs a multi-faceted approach to water efficiency. The proposed land use plan identifies a variety of areas that are intended to accommodate stormwater conveyance facilities, bio-swales, and water quality treatment facilities designed to improve water quality on-site and limit downstream water quality impairments from the proposed development (see Figure 2-17 *Conceptual Drainage Plan* for location of stormwater facilities). Coupled with this, the KPC Coachella Specific Plan proposes the efficient use of potable water through mandated building and site design requirements. In addition, the site layout would be able to accommodate an on-site sewer/reclaimed water treatment facility if necessary, to create non-potable water supplies.

Sustainable Community Design Strategies for Water Efficiency within include:

- Reduce potable water demand by utilizing appropriate landscaping, non-potable reclaimed, well or canal water for irrigation purposes (when available), and high-efficiency plumbing fixtures and appliances;

- Implement an integrated stormwater collection and conveyance system designed to treat and convey development-related runoff and improve water quality on-site and downstream through on-site water quality basins;
- Implement dual plumbing within the recreation, landscaped medians, common landscaped areas, mixed-use/commercial planning areas, and parks to allow for the use of reclaimed water when available; and
- Support the development of reclaimed water supplies in the City of Coachella.

### 1.5.6 Occupant Health and Safety

According to the Whole Building Design Guide, modern buildings are generally considered safe and healthy working environments. However, the potential for indoor air quality problems, occupational illnesses and injuries, exposure to hazardous materials, and accidental falls require that building designs focus on eliminating or preventing hazards to personnel, rather than relying on personal protective equipment and administrative or process procedures to prevent mishaps<sup>1</sup>

Since an important aspect of building design is the interaction between the occupants and their environment, if the design of a building does not take occupant health, safety, and welfare into account, then their productivity and self-worth may become diminished. To combat this issue, design teams (architects, engineers, and designers) must engage in an integrated design approach that focuses on building healthy environments that are safe for occupants throughout a building's life cycle: planning, design, construction, operations and maintenance, renovation, and final disposal.

Sustainable Community Design Strategies for Occupant Health and Safety within KPC Coachella include the following strategies to be implemented at the builder level:

- Provide designs that eliminate or reduce hazards in the workplace (occupational injuries, illness, slips, trips, falls, etc.) to prevent mishaps and reduce reliance on personal protective equipment;
- Eliminate exposure to VOCs and other hazardous chemicals and materials in building construction;
- Ensure good indoor air quality in all buildings
- Eliminate the use of hazardous chemicals in landscaping and parks construction and maintenance;
- Incorporate universal design techniques and strategies into each Planning Area, whereby the widest spectrum of people, regardless of age or ability can more easily participate in community life; and

### 1.5.7 Landscape Design/Low Impact Development

Landscaping within the KPC Coachella Specific Plan area will complement the surrounding desert environment as well as provide areas for outdoor enjoyment and activity. The plant palette proposed for the Specific Plan identifies appropriate plant types, with bias towards native species with low water requirements and provide shade. In conjunction with the proposed landscape design, Low Impact Development (LID) techniques to control stormwater flows on-site (see list below) will be implemented. LID is an ecologically friendly approach to site development and storm water management that aims to

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<sup>1</sup> [http://www.wbdg.org/design/ensure\\_health.php](http://www.wbdg.org/design/ensure_health.php)



mitigate development impacts to land, water, and air. The approach emphasizes the integration of site design and planning techniques that conserve natural systems and hydrologic functions.

Sustainable Community Design Strategies for Landscape Design within KPC Coachella include:

- Increase access to fresh produce and through the promotion of community-based food production within the project. This can be achieved through CC&Rs that do not prohibit local food production, establishment of neighborhood gardens, community supported agriculture, and/or promotion of a Farmer's Market within the project;
- Utilize native plant choices to the greatest extent possible throughout the development that complement the existing flora and fauna found on-site;
- Develop a plant palette that focuses on shading within the developed portions of the site and in those areas of pedestrian activity.
- Promote the development of tree-lined streets.
- Reduce the heat island effect through the minimization of impervious surfaces and incorporation of landscaping within the development that provides adequate shading of developed areas.;
- Implement heat island reduction through shading in public spaces such as bus stops, parks, sidewalks, and plazas;
- Eliminate turf throughout the development to the greatest extent possible.

***Low Impact Development.*** Sustainable Community Design Strategies for Low Impact Development within KPC Coachella include:

- Preserve open space and minimize land disturbance within the Specific Plan.
- Incorporate natural site elements (significant rock outcroppings, drainage corridors, bioswales) as design features; and protect natural systems and processes (drainage ways, vegetation, soils, sensitive areas);
- Attempt to reduce municipal infrastructure and utility maintenance costs (streets, curbs, gutters, sidewalks, storm sewer) by reexamining the use and sizing of traditional site infrastructure (lots, streets, curbs, gutters, sidewalks) and customizing infrastructure design to each planning area;
- Incorporate decentralized and micromanaged stormwater and/or water quality facilities close to the source within each planning area.
- Mimic the predevelopment site hydrology by using site design techniques that store, infiltrate, evaporate, and retain runoff to reduce off-site runoff and facilitate groundwater recharge (where practical); and
- Ensure that receiving waters experience fewer negative impacts in the volume, frequency, and quality of runoff, by maintaining base flows and more closely approximating predevelopment runoff conditions.

### 1.5.8 Resource Conservation

Given the site's containment of and proximity to valuable and unique natural and visual resources, there is a high level of importance in their preservation. This element focuses on; conserving the habitat of native desert flora and fauna, ensuring the preservation of unique and beautiful natural features as well as the ability to enjoy such features, and using the rich presence of natural beauty to enhance the value and experience of all developments and people within the KPC Specific Plan.

#### Waterways

- Ensure public access to waterways;
- Embrace waterways in the design of developments and/or recreational areas adjoining waterways;

#### Natural Features

- If possible, locate parks and open spaces where views of mountains and/or hillsides are present;
- Preserve significant natural features;

#### Wildlife

- Support and adhere to the Coachella Valley Multiple Species Habitat Conservation Plan;
- Promote the use of low-water, native plants in all landscaping developments and parks if possible but not to the detriment of providing shading in necessary areas outlined elsewhere in the specific plan;
- Provide continuous natural space for animal species to navigate and pass through the developed area;

#### Dark Skies

- Given the site's close proximity to Joshua Tree National Park, and the area's existing dark skies, development should limit the impact it has on light pollution to the fullest extent possible through steps outlined in Appendix A

### 1.5.9 Local Sustainability and Climate Compliance

The City of Coachella's General Plan contains ten sustainability goals. Projects within the KPC Specific Plan will follow and often exceed these goals and similar goals set forth in the City's climate action plan. Appendix A outlines the city's goals and policies, as well as the steps developers and builders shall take to comply with these goals and policies.

## 1.6 Context

### 1.6.1 Authority and Requirements

The authority to prepare and adopt a Specific Plan and the requirements for its contents are set forth in California Government Code Sections 65450 through 65457.

Section 65451 states:

*A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:*

- *The distribution, location and intent of the uses, including open space, within the area covered by the plan.*
- *The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described by the plan.*
- *Standards and criteria by which the development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.*
- *A program of implementation measures including programs, public works projects, and financing measures.*
- *The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.*

Specific Plans may be adopted as policies by resolutions or by ordinance. The City of Coachella will adopt the KPC Coachella Specific Plan by ordinance, establishing the land use regulations and designations for the subject property. State Law requires public hearings by both the Planning Commission and City Council. The City Council must adopt the Specific Plan for it to take effect.

The KPC Coachella Specific Plan is a regulatory plan constituting the development concept and zoning for the property within its boundaries. Development plans or agreements, tract or parcel maps, precise development plans, or any action requiring ministerial or discretionary approval on this property must be consistent with the Specific Plan as approved by the City Council. This Specific Plan implements the goals and policies of the City of Coachella General Plan (the General Plan), serves as an extension of the General Plan, and can be used as both a policy and a regulatory document. The purpose of this Specific Plan is to implement the vision by providing goals, policies, programs, development standards, and design guidelines to direct future development within the Plan Area.

### **1.6.2 Tribal Authority**

A portion of the Specific Plan area may be taken into trust by the Federal government for the benefit of the Torres-Martinez Desert Cahuilla Indians under a 1996 claims settlement. The authority of the Torres-Martinez is based upon the inundation of tribal lands under the Salton Sea as outlined by the US Code Title 25 related to Indian Land Claims Settlements. If taken into trust, a proposed gaming use is authorized by the Tribal-State Gaming Compact between the Torres-Martinez Desert Cahuilla Indians and the State of California. The Compact specifically notes that additional land may be acquired by the tribe adjacent to Interstate 10 for the purpose of building a gaming facility as a result of the inundation of the Tribe's reservation land by the Salton Sea; and if that land is taken into trust, the tribe would be allowed to operate additional gaming devices beyond those permitted on the reservation lands. The property to be taken into trust would be placed under a management contract which governs tribal property. This facility is anticipated to be located within the Commercial Entertainment Planning Area.

### 1.6.3 Relationship to the General Plan and Zoning Code

The approval of the KPC Coachella Specific Plan would amend the City of Coachella's zoning for the property to allow the development of the proposed:

- 9,536 residential dwelling units;
- 271 acres of mixed commercial and entertainment uses;
- 71 acres of educational facilities;
- 1,171 acres of open space, park, and recreational facilities; and
- all planned roadways and infrastructure.

The General Plan designation of Resort District be amended to identify the property as "KPC Specific Plan." Map amendments to incorporate the proposed circulation network are required to bring consistency between the Specific Plan and Circulation Element.

### 1.6.4 Specific Plan Background

The KPC Coachella Specific Plan area has been the subject of several studies and preliminary plans in the past, however, there has not been any formal development plans submitted for the area.

### 1.6.5 Initial Development Approvals

The entitlement process for Project includes the following discretionary approvals (see also Table 1-1, *Required Approvals*):

- Certification of an Environmental Impact Report (EIR) and adoption of a Mitigation Monitoring and Reporting Program.
- General Plan Amendment. General Plan Amendments (GPAs) will be required to implement the Specific Plan, including modifying the land use designation to a new designation of "KPC Coachella Specific Plan (SP 21-01) and modifying the mixture of general plan land uses within the Specific Plan Area.
- Zone Change. A Zoning map revision is required to change the zoning designation of the site from R-S (Residential Single Family), C-G (General Commercial), and Open Space to "Specific Plan." The Specific Plan includes the development regulations and standards that will become the zoning for the property, superseding the relevant sections of the City Municipal Code.
- Adoption of the Specific Plan by ordinance. Upon adoption, the Specific Plan will become the zoning for the site.
- Adoption of a Development Agreement. A Development Agreement will be executed with the City of Coachella in conjunction with the Specific Plan. The Development Agreement will vest the Project's entitlement approvals and obligate the developer to implement public benefit improvements.

Subsequent discretionary and ministerial approvals are anticipated to include the following:

- Subdivision Maps (Tentative and Final) for implementing projects
- Site Plan Review
- Building Permits

Implementation of the development project will also require a variety of approvals from local, State, and Federal Agencies, as demonstrated in Table 1-1, *Required Approvals*.

**TABLE 1-1: REQUIRED APPROVALS**

Requested Permit/Approval	Approving Agency
EIR Certification	City of Coachella
Specific Plan Adoption	City of Coachella
General Plan Amendment (if required)	City of Coachella
Zone Change	City of Coachella
Development Agreement	City of Coachella
Financing/Conveyance Tentative Tract Map Approval	City of Coachella
RCTC/CVAG Funding for Roads and Bridges	RCTC/CVAG
CVWD/Bureau of Reclamation Approvals for Canal Crossings	CVWD
Water Supply Assessment	Coachella Water Agency
1602 Permit	California Department of Fish and Game
404 Permit	U.S. Army Corps of Engineers
401 Permit	Regional Water Quality Control Board
NPDES	Regional Water Quality Control Board

## 1.7 California Environmental Quality Act Compliance

The California Environmental Quality Act (CEQA) classifies a specific plan as a “project” which is subject to environmental review. Certification of an Environmental Impact Report (EIR) is required prior to adoption of this Specific Plan to analyze potentially significant environmental impacts of the project, discuss feasible alternatives, and recommend feasible mitigation measures in compliance with the provision of CEQA. This EIR will analyze the entire Specific Plan and address potential impacts associated with the development of the Specific Plan area.

## 1.8 Specific Plan Organization

The KPC Coachella Specific Plan sets limits on the amount of development and allowable land uses, provides the standards for street dimensions, parking, landscaping, building types, and improvements and sets overall height and density limits for the neighborhoods and public uses with this new neighborhood of Coachella.

This Specific Plan creates a framework for design and development that will evolve over a period of years. To aid in understanding the requirements in this Specific Plan, illustrative graphics have been included to show the intent of various provisions. These illustrative graphics and photographs are simply a depiction of possible arrangements of development and should not be taken as requirements.

The KPC Coachella Specific Plan is organized into the following sections:

**INTRODUCTION** – This section includes an overview of the Specific Plan, an overview of the Development Plan, identifies the Specific Plan’s authority and Project objectives and also includes discussion of relevant plans. This section also identifies surrounding land uses, and existing site uses.



**DEVELOPMENT PLAN** – This section explains the conceptual land use plan for the Specific Plan Area; identifies land use policies and defines the land use designations unique to the Specific Plan. The mobility, drainage, water and sewer, grading, and public services plans are also described.

**DEVELOPMENT REGULATIONS** – Sets forth the general provisions, definitions, land use designations and regulations and describes the development plan of the Specific Plan area for residential and commercial uses. Parking, wall standards and signage standards are also included in this section.

**DESIGN GUIDELINES** – This section explains design concepts and establishes design guidelines for development in the Specific Plan Area. This section also outlines the landscape program for the community.

**ADMINISTRATION AND IMPLEMENTATION** – Sets forth administrative procedures for implementing the mixed-use implementation mechanisms, modification, and procedures for amending the Specific Plan, and establishes the implementation, phasing, financing, improvement responsibilities, and subsequent submittal requirements.

**APPENDICES** – The appendices include elements of the Specific Plan that support its individual sections. Appendices include grading standards and a legal description of the property within the Specific Plan area.

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A row of tall palm trees stands on a green lawn. In the background, there are mountains under a clear blue sky. A dark blue rectangular box is overlaid on the right side of the image, containing the section title.

# **SECTION 2**

## Development Plan

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The Development Plan section of the KPC Coachella Specific Plan details the structure of the Specific Plan, including:

- community vision
- land uses
- parks and open space
- utilities
- infrastructure
- grading and
- public services

Together, these features provide a detailed description for this proposed new community in Coachella.

## 2.1 Community Vision

The KPC Coachella Specific Plan will provide a mixture of land uses intended to create a vibrant, cohesive entrance to the City, with villages and neighborhoods that are unique, yet compatible with surrounding planned neighboring areas. The Specific Plan area will integrate all of the components of a well-rounded community, including resort-style entertainment, medical and wellness uses, commercial retail and restaurants, housing, schools, open space, and senior housing opportunities into the natural desert landscape of the Coachella Valley. The Specific Plan area will function as an important addition to the City of Coachella by providing new opportunities to increase goods, services, and housing provided within the City and the region.

The KPC Coachella Specific Plan is comprised of five unique villages, each with a core defining purpose and integrated into one community through placemaking principles that rely on bringing people together and creating an atmosphere to live, work, play, and thrive. The design of the community respects the natural topography and landscape of the Coachella Valley and avoids alterations to the existing landforms through strategic planning of land uses, roadways, bridges, and other necessary infrastructure. The five individual villages all include vital commercial, residential, and institutional uses in close proximity that decrease the reliance on vehicles and the lower vehicle miles traveled by promoting a walkable community atmosphere.

## 2.2 Village Organization

The KPC Coachella Specific Plan area is organized into five separate villages, each with the following primary characteristics:

- Village A: Wellness District
- Village B: Entertainment Center
- Village C: Active Recreation
- Village D: Active Adult Community
- Village E: Agricultural Estates

The villages collectively create a unique and cohesive community with a diversity of uses that provide multiple types of housing, entertainment options, commercial shopping, open space and recreational opportunities, and educational facilities. Figure 2-1, *Village Organization*, shows the location and size of each of the five villages. Tables 2-2 through 2-6 identify the individual land use mix for each village.



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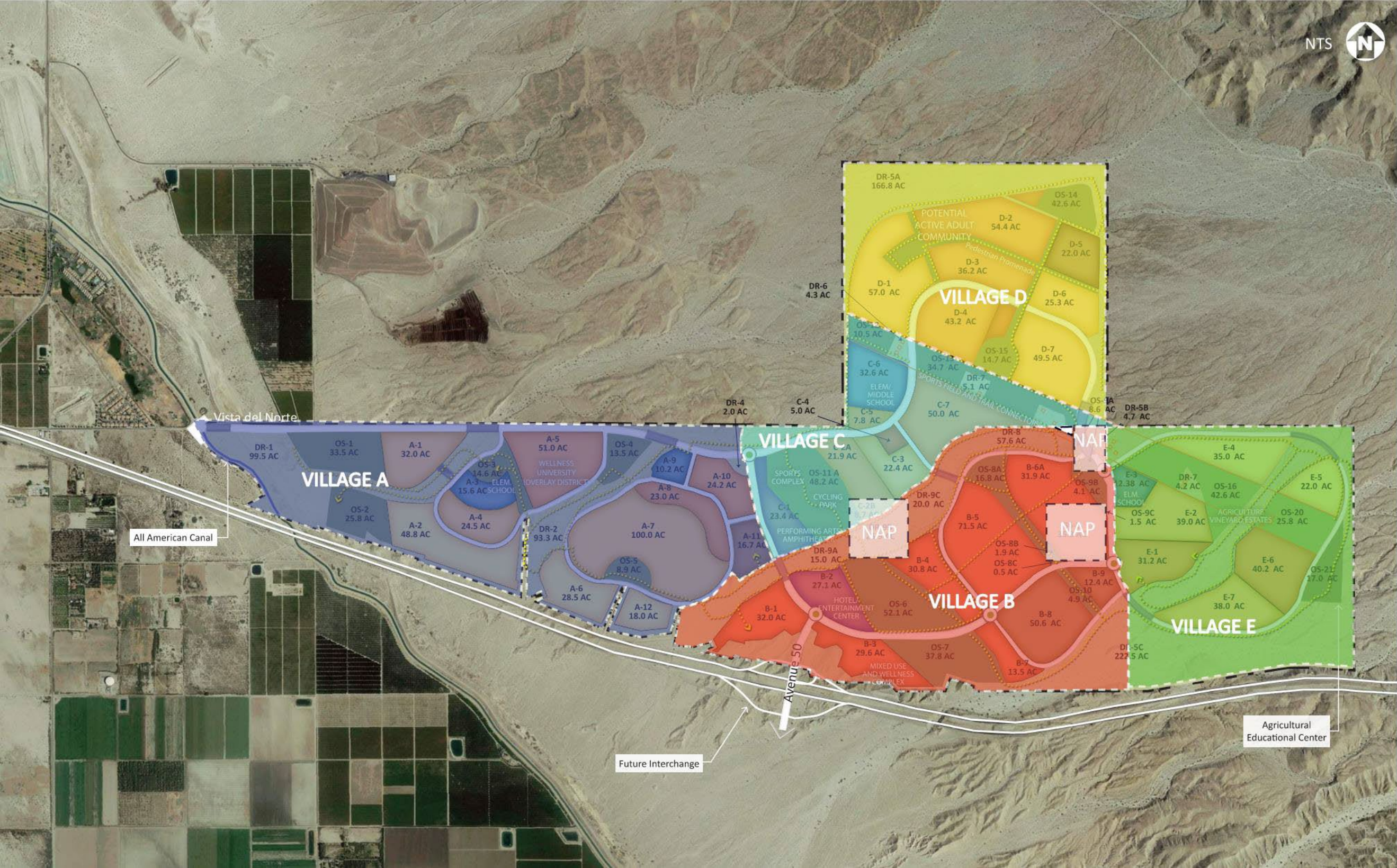


FIGURE 2-1: VILLAGE ORGANIZATION



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## 2.3 Land Use Plan

### 2.3.1 Conceptual Land Use Plan

The Coachella General Plan requires preparation of a Conceptual Specific Plan for the entirety of Subarea 13 as explained in Section 1 of this document. Figure 2-2, *Conceptual Specific Plan*, shows the three additional open space parcels (approximately 1,200 acres) within Subarea 13 and two internal “Not a Part (NAP)” areas which comprise approximately 91 acres. The majority of the land use plan within Subarea 13 consists of the KPC Coachella Specific Plan area, shown in detail in Figure 2-3, *Land Use Plan*. Access to the adjacent NAP parcels will be provided from within the KPC Coachella Community. Future development of these open space parcels would require additional entitlements. The conceptual statistics for the outparcels are outlined in Table 2-1 below. The statistics for the Conceptual Specific Plan will be comprised of the sum of Tables 2-1 and 2-2.

TABLE 2-1: LAND USE SUMMARY – OUTPARCELS

Land Use	Gross Acres (AC)	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage
NAP C					
Medium Density Residential	9	10.0	87	--	--
Drainage/Open Space	30				
Subtotal NAP “C”	39	--	87	--	--
NAP D					
Mixed-Use	35	10.0	117	0.25	257,705
Drainage/Open Space	4				
Subtotal NAP “D”	39	--	117	--	257,705
NAP E					
Drainage/Open Space	13				
Subtotal NAP “E”	13				
NAP A					
Open Space	600		(1)		
NAP B					
Open Space	600		(1)		
Totals	1,291	--	204	--	257,705

### 2.3.2 KPC Coachella Land Use Plan

The Land Use Plan (shown on Figure 2-3, *Land Use Plan*) is organized to promote a mixture of residential, commercial, entertainment, wellness, education, and open space uses that together form a cohesive and well-balanced community.

The Land Use Plan identifies a series of land use mixes throughout the Specific Plan area. The accompanying tables further describe land uses, dwelling unit counts, commercial square footages, open space acreages, and school site acreages for the Specific Plan area as a whole and by individual village.

Table 2-2, *Specific Plan Land Use Summary*, shows how the dwelling units and commercial square footage is distributed throughout the Specific Plan area. A further breakdown by village is provided in the tables and maps on the following pages.

### 2.3.3 Residential Uses

Residential uses within the KPC Coachella Specific Plan area range in densities from very low in the outer sections to high density adjacent to the entertainment core in planning area B-2 in Village B. The four residential land use categories are:

- Very Low Density (VLDR), 1.0 du/ac
- Low Density (LDR), 5.0 du/ac
- Medium Density (MDR), 10.0 du/ac
- High Density (HDR), 25.0 du/ac

The residential uses shown in the Land Use Plan are organized to provide a range of housing opportunities for future residents of the planned community. Residential Planning Areas are strategically located adjacent to complementary uses to ensure that all areas have close access to open space, community resources, and entertainment options.

#### Very Low Density (VLDR)

The VLDR land use designation is proposed to encompass 152 gross acres across two villages (A & E). As proposed, this land use designation will allow 1.0 dwelling units per acre. These planning areas are located away from the entertainment center and promote a rural lifestyle and connection to the surrounding open space areas, both planned and natural. VLDR planning areas within Village E are associated with agricultural production and urban farming.

#### Low Density (LDR)

The LDR land use designation is proposed to encompass 362 gross acres across three villages (A, C & D). As proposed, this land use designation will allow 5.0 dwelling units per acre. Similar to VLDR, LDR planning areas are mostly located away from the primary entertainment and mixed-use areas and provide a transition from the rural and open space areas to the more urban parts of the community. These are primarily single-family detached housing communities on large lots with easy access to the natural drainage areas and passive recreation trails.

#### Medium Density (MDR)

The MDR land use designation is proposed to encompass 419 gross acres and can be found in all five villages within the community. As proposed, this land use designation will have a proposed density of 10.0 dwelling units per acre. MDR is planned to encompass the largest portion of the housing stock, creating the potential for approximately 4,100 dwelling units.

MDR planning areas are concentrated around mixed-use areas, open space, and community services such as schools. The Wellness University District Overlay sits within an MDR planning area in Village A and many of the proposed residential areas within the active adult community are MDR to provide for a range of housing densities. MDR planning areas are also located primarily adjacent to collector roads to facilitate the heavier traffic load.



High Density (HDR)

The HDR land use designation is proposed to encompass 102 gross acres across two villages (B & D). As proposed, this land use designation will allow 25.0 dwelling units per acre. HDR planning areas are primarily located along major collector and arterial roads to handle the increased traffic demand. These dwelling units are a mixture of small lot single-family detached units, townhouses, and attached residential housing types. HDR planning areas are located in close proximity to the main entertainment, mixed-use, and recreational open space areas at the center of the community.

Additionally, HDR uses are anticipated within the Mixed-Use planning areas and would follow the same density range.

2.3.4 Village Characteristics

Each of the five villages within the KPC Coachella Specific Plan area has a unique composition of uses and purpose that defines the intention for that area. When considered in an overall context, the villages provide the housing, commercial and entertainment opportunities, public facilities, open space, and parks/sports facilities that form a well-rounded and complete community.

The Village Characteristics, shown in Figures 2-4 to 2-8, outline each village in detail and provide information for future builders and City staff by laying out the information such as the roadway types for adjacent roads, primary and secondary entry locations, location and type of parks, location and types of trails, water quality facilities, and streetscapes associated with them. The Village Framework Plans illustrate how each village functions successfully as an individual sub-community and within the overall context of the community.

TABLE 2-2: SPECIFIC PLAN LAND USE SUMMARY

Land Use	Gross Acres (AC)	% Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage
Residential						
Very Low Density	152	5.6%	1.0	153	--	--
Low Density	362	13.3%	5.0	1,811	--	--
Medium Density	410	15.1%	10.0	4,102	--	--
High Density	102	3.7%	25.0	2,543	--	--
Subtotal Residential	1,026	37.76%	--	8,608	--	--
Commercial						
Mixed-Use	244	8.1%	10.0	727	0.25	1,864,612
Entertainment Center	27	1.0%	--	--	--	175,000
Hotel Rooms	--	--	--	--	--	375 Keys
Subtotal Mixed-Use	271	10.0%	--	727	--	2,039,612
Institutional						
Elementary School	38	1.4%	--	--	--	--
Middle School	33	1.2%	--	--	--	--
Subtotal School	71	2.6%	--	--	--	--
Open Space						
Parks, Greenways, and Amenity Corridors	379	14.0%	--	--	--	--
New Agricultural Production	68	2.5%	--	--	--	--
Drainage and Other Open Space	723	26.9%	--	--	--	--
Subtotal Open Space	1,171	43.1%	--	--	--	--
Roadways						
Right-of-Way	179	8.1%	--	--	--	--
Interchange			--	--	--	--
Subtotal Roadways	179		--	--	--	--
Total NAP	91	8.1%		203		
Specific Plan Totals	2,808	100.00%		9,538		2,040,518
Notes:						
1. Residential densities shown may vary by village or Planning Area (PA).						

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FIGURE 2-2: CONCEPTUAL SPECIFIC PLAN



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Figure 2-4: Village A Characteristics



TABLE 2-3: LAND USE SUMMARY: VILLAGE A

Land Use	Gross Acres (AC)	% of Village Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage	Planning Areas
Residential							
Very Low Density Residential	95	19.5%	1	96	--	--	2, 6, 12
Low Density Residential	156	32.0%	5	782	--	--	1, 4, 7
Medium Density Residential	98	20.1%	10	982	--	--	5, 8, 10
High Density Residential	17	3.5%	25	419			11
Subtotal Residential	366	75.0%	--	2,279	--	--	
Institutional							
Elementary School	26	5.3%	--	--	--	--	3, 9
Subtotal School	26	5.3%	--	--	--	--	
Open Space							
Parks, Greenways, and Amenity Corridors	96	19.7%	--	--	--	--	DR-1, 2 OS-1, 2, 3, 4, 5
Subtotal Open Space	96	19.7%	--	--	--	--	
Village A Totals	488	100%	--	2,279	--		



Village A is the western entrance to the KPC Coachella community. It is a primarily residential portion of the community characterized by a centrally located Wellness University area. Village A provides a range of residential densities and multiple parks and trails for recreational opportunities.

Notes: 1. Residential densities may vary depending on Planning Area (PA). Densities shown are targets.

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Figure 2-5: Village B Characteristics

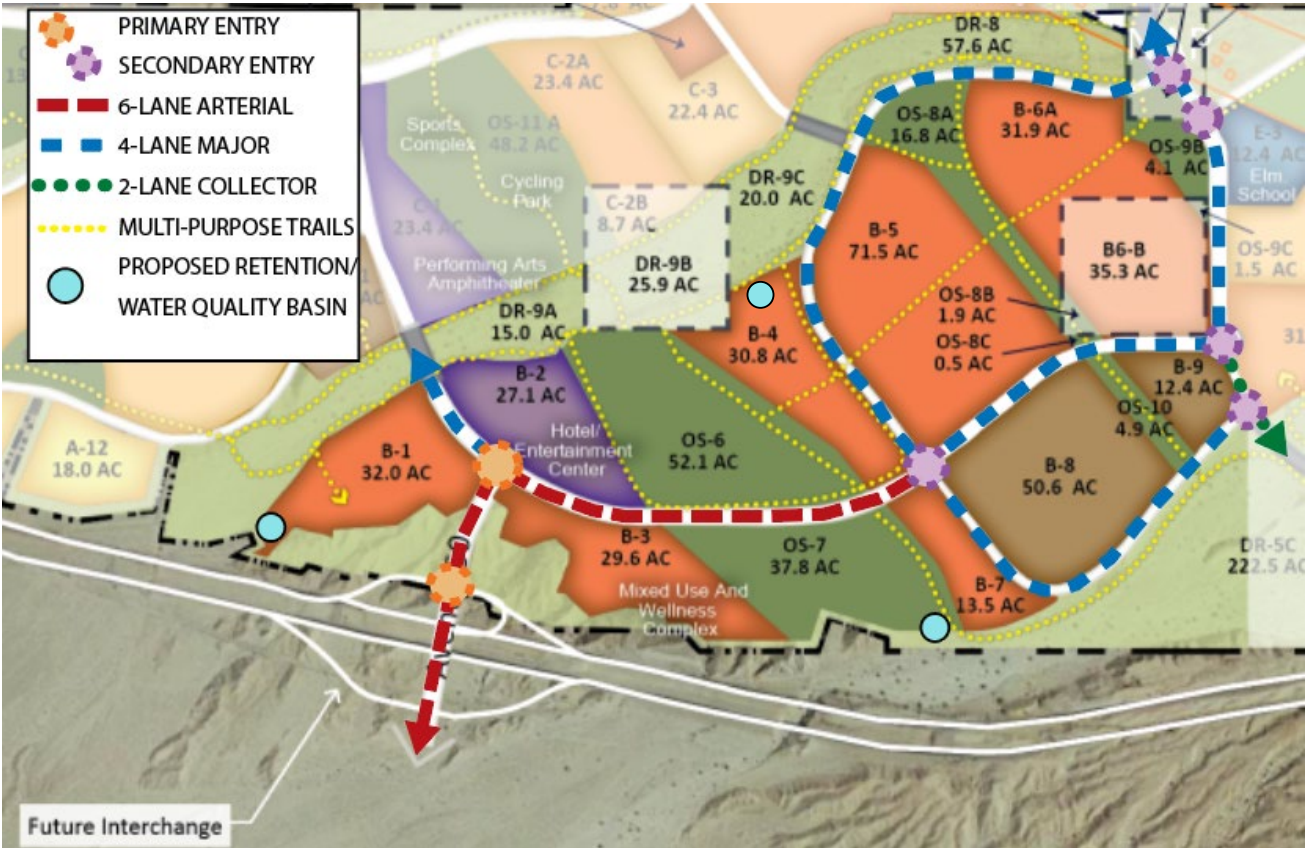


TABLE 2-4: LAND USE SUMMARY: VILLAGE B

Land Use	Gross Acres (AC)	% of Village Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage	Planning Areas
Residential							
High Density Residential	63	26.6%	25	1,574	--	--	8, 9
Subtotal Residential	63	38.8%	--	1,574	--	--	
Commercial							
Mixed-Use <sup>2</sup>	244	28.1%	10	807	0.25	1,780,705	1, 3, 4, 5, 6, 7
Entertainment Center	27	18.3%	--	--	--	175,000	2
Subtotal Mixed-Use	271	34.9%		807	--	1,955,705	
Open Space							
Parks, Greenways, and Amenity Corridors	128	14.7%	--	--	--	--	DR-5C, 8, 9A-C, OS-6, 7, 8A, 9B, 10
Subtotal Open Space	128	14.7%	--	--	--	--	
Village B Totals	462	100%	--	2,381	--	1,955,705	



Village B is the entertainment center and iconic entrance to the KPC Coachella Specific Plan area and the City of Coachella. Entry into the community is taken from the south on the Avenue 50 interchange off the Interstate 10 Freeway. Village B is envisioned to contain hotel uses, a wellness complex, and a mixture of commercial and residential uses. It also contains the highest residential densities of any of the community villages.

Notes:

- 1. Residential densities may vary depending on Planning Area (PA). Densities shown are targets
- 2. Mixed-Use calculated at 1/3 residential and 2/3 commercial.



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Figure 2-6: Village C Characteristics

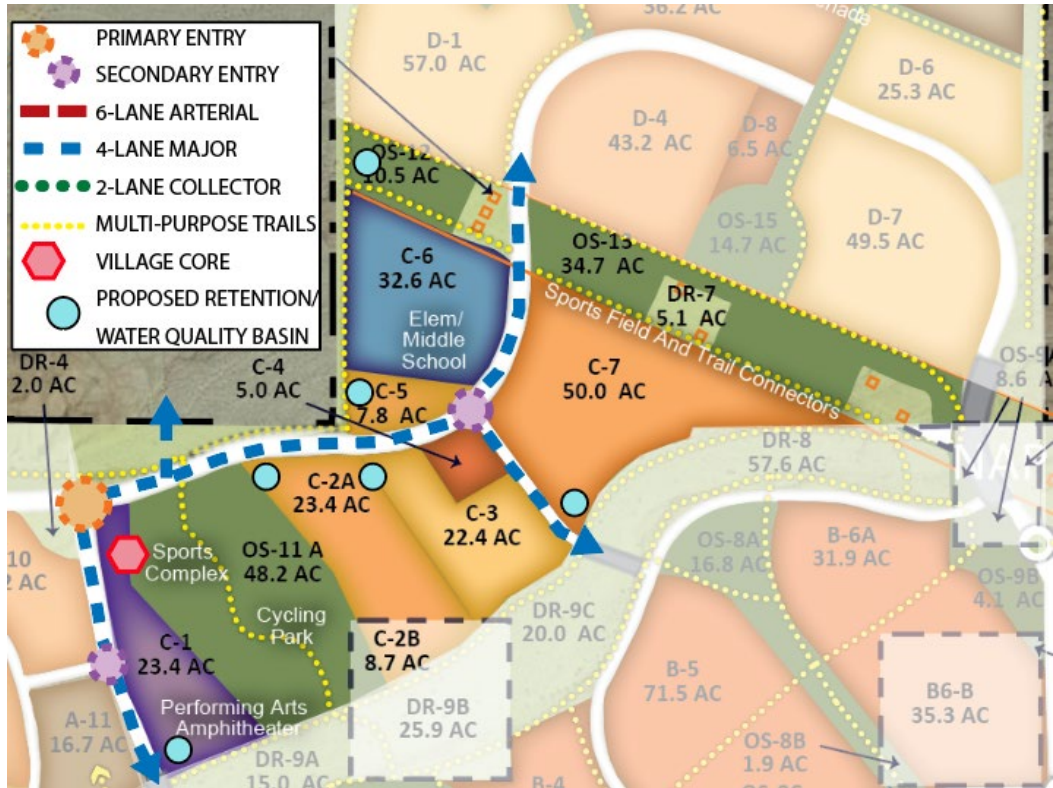


TABLE 2-5: LAND USE SUMMARY: VILLAGE C

Land Use	Gross Acres (AC)	% of Village Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage	Planning Areas
Residential							
Low Density Residential	22	8.1%	5	112	--	--	3
Medium Density Residential	90	33.3%	10	899	--	--	2A, 5, 7
Subtotal Residential	112	41.4%	--	1,011	--	--	
Commercial							
Mixed-Use <sup>2</sup>	5	1.9%	10	17	0.25	36,773	4
Entertainment Venue	23	8.5%					1
Subtotal Mixed-Use	28	10.4%	--	17	--	36,773	
Institutional							
Middle School	33	12.2%					6
Subtotal School	33	12.2%	--	--	--	--	
Open Space							
Parks, Greenways, and Amenity Corridors	97	35.9%	--	--	--	--	DR-7, OS-11A, 12, 13
Subtotal Open Space	97	35.9%	--	--	--	--	
Village C Totals	270	100%	--	1,028	--	36,773	

Village C provides for many of the active and passive recreational opportunities within the KPC Coachella Specific Plan area. It is envisioned to include a sports complex, additional sports fields, trail connections, and a cycling park. Additionally, low and medium density residential uses and the middle school set to serve the whole community are located in Village C.



Notes:

- 1. Residential densities may vary depending on Planning Area (PA). Densities shown are targets
- 2. Mixed-Use calculated at 1/3 residential and 2/3 commercial.



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Figure 2-7: Village D Characteristics

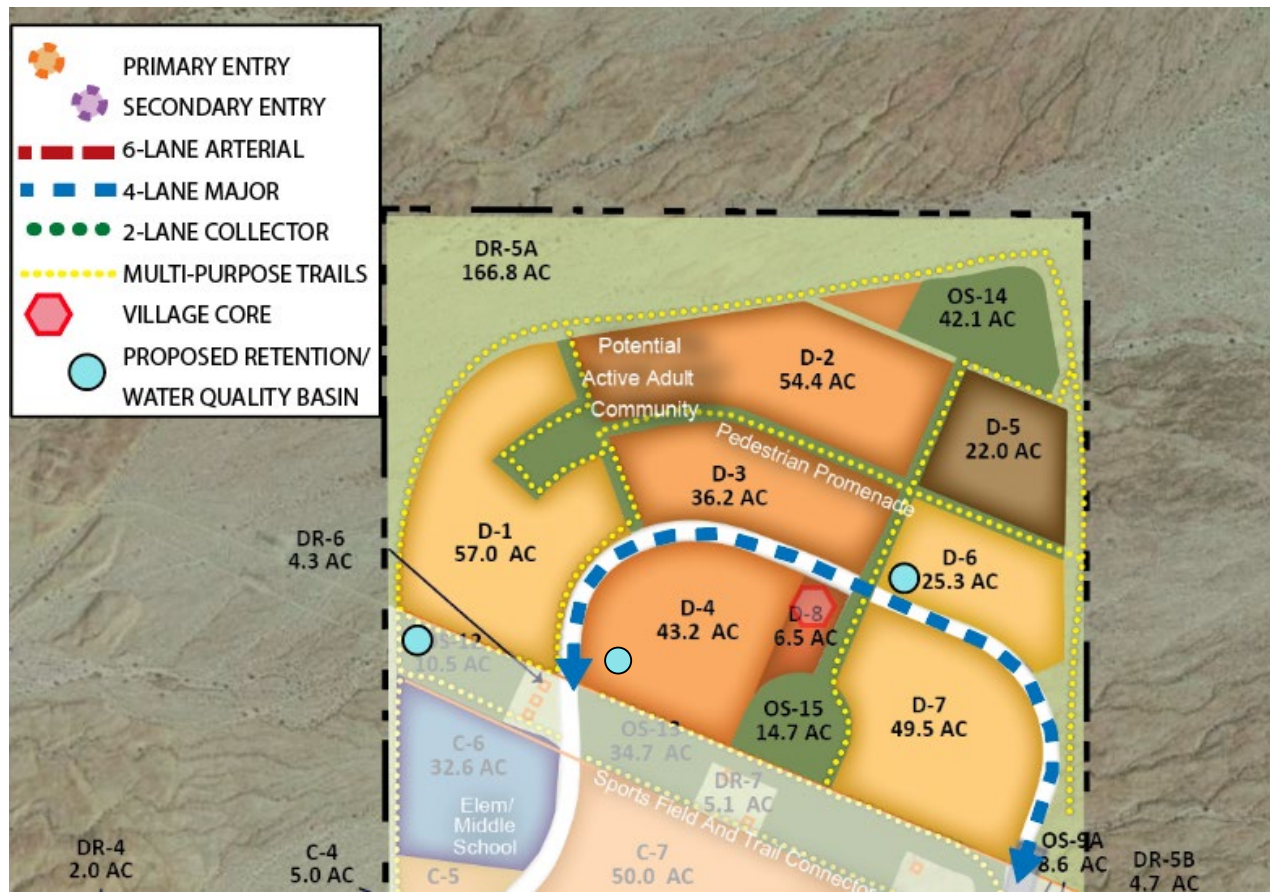


TABLE 2-6: LAND USE SUMMARY: VILLAGE D

Land Use	Gross Acres (AC)	% of Village Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage	Planning Areas
Residential							
Low Density Residential	106	30.8%	5	532	--	--	1, 6, 7
Medium Density Residential	159	46.2%	10	1,591	--	--	2, 3, 4
High Density Residential	22	6.4%	25	550	--	--	5
Subtotal Residential	287	83.4%	--	2,673	--	--	
Commercial							
Mixed-Use <sup>2</sup>	6	1.7%	10	21	0.25	47,134	8
Subtotal Mixed-Use	6	1.7%	--	21	--	47,134	
Open Space							
Parks, Greenways, and Amenity Corridors	57	16.6%	--	--	--	--	DR-5A OS-14, 15
Subtotal Open Space	57	16.6%	--	--	--	--	
Village D Totals	344	100%	--	2,694	--	47,134	



Village D is the furthest north geographically and proposed as a community that caters to the needs of the active adult population. This includes a variety of housing densities, parks, parkway trail connections adjacent to major roadways, and a small commercial center.

Notes:

1. Residential densities may vary depending on Planning Area (PA). Densities shown are targets
2. Mixed-Use calculated at 1/3 residential and 2/3 commercial.

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Figure 2-8: Village E Characteristics

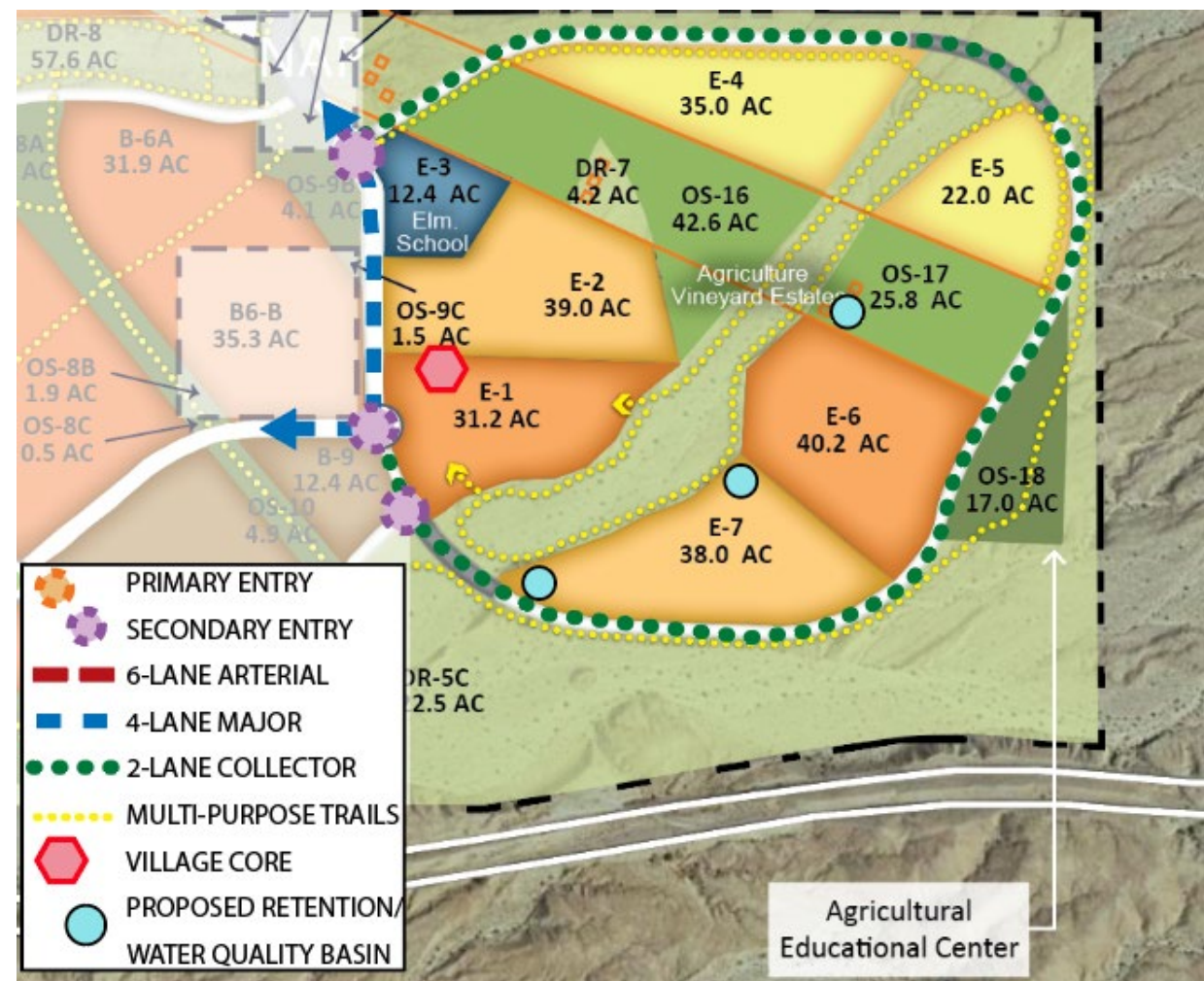


TABLE 2-7: LAND USE SUMMARY: VILLAGE E

Land Use	Gross Acres (AC)	% of Village Area	Density (DU/AC) <sup>1</sup>	Dwelling Units (DU)	FAR	Square Footage	Planning Areas
Residential							
Very Low Density Residential	57	18.8%	1	57	--	--	4, 5
Low Density Residential	77	25.4%	5	385	--	--	2, 7
Medium Density Residential	71	23.4%	10	716	--	--	1, 6
Subtotal Residential	205	67.6%	--	1,158	--	--	
Institutional							
Elementary School	12	3.9%	--	--	--	--	3
Subtotal School	12	3.9%	--	--	--	--	
Open Space							
Parks, Greenways, and Amenity Corridors	17	5.6%	--	--	--	--	DR-5C OS-16, 17
New Agricultural Production	68	22.4%	--	--	--	--	OS-18
Subtotal Open Space	85	28.1%	--	--	--	--	
Village E Totals	303	100%	--	1,156	--	--	



Village E is the furthest east and envisioned as a rural residential and agricultural community, with large lots, vineyards, and agricultural production and education areas.

Notes:

- 1. Residential densities may vary depending on Planning Area (PA). Densities shown are targets
- 2. Mixed-Use calculated at 1/3 residential and 2/3 commercial.



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### 2.3.5 Commercial Uses

#### ***Mixed-Use***

All five villages within the plan area contain at least one planning area designated as Mixed-Use. The KPC Coachella Specific Plan accommodates 220 acres of mixed-use areas. This land use designation allows for commercial retail, high-density residential, professional office, and public uses, detailed further in the permitted uses in Table 3-3. The planning areas designated as mixed-use are located adjacent to higher density residential areas and major arterial and collector roads.

Additional information on land use flexibility is provided in the Mixture of Land Uses sub-section located below.

#### ***Resort Entertainment Center***

The KPC Coachella Specific Plan designates 27 acres within Village B (located north of the Avenue 50 interchange) as a resort entertainment center. This area is the primary activity hub and strategically located at the center of the community proximate to the Interstate 10 freeway.

Potential uses within this land use designation include an entertainment venue and hotel. Should an agreement be reached for a tribal gaming facility, it would be included within this planning area. This designation also permits all uses allowed within the Mixed-Use land use designation.

### 2.3.6 Institutional Uses

The increase in dwelling units to the area creates the need for additional school facilities. Two elementary schools located in Villages A and E and one combination elementary/middle school centrally located within Village C are provided for residents of the community. The three sites range from just under 15 acres to 33 acres in size and encompass a total of 71 acres. These sites are anticipated to accommodate institutional facilities and the potential for publicly accessible open space areas or shared park uses. Planning areas for the various school uses discussed in this section and shown on Figure 2-3 (Land Use Plan) are conceptual in nature and may move to meet requirements of the relevant school district or other applicable external agency. Planning Areas designated for schools shall remain in the identified planning area and be of comparable size to the areas shown on Figure 2-3.

Proposed school uses shall have an underlying land use designation of Medium Density Residential. In the event that a proposed school site is not required for its originally intended use, such land may be available for residential development. This allows flexibility in the location and shape of school sites shown on the land use map. The City shall consult with the applicable School District (Coachella Valley Unified School District or Desert Sands School District) prior to release of a school site for residential development. Following such consultation (if applicable), the City Council shall make a formal determination that the site is not required for the originally intended school use. Additional residential dwelling units may not result in development exceeding the total permitted number of units within the specific plan area unless permitted by an amendment of the KPC Coachella Specific Plan and analyzed through appropriate CEQA analysis to be determined in coordination with the Community Development Director or their appointee.

Section 2.7.5 provides more information on the local school districts and planned elementary and middle school uses.



### 2.3.7 Parks and Recreational Uses

Parks are a vital component of the KPC Coachella Specific Plan area. Approximately 395 acres of parks, greenways, and amenity corridors are provided within the plan area. Parks and other recreational uses provide programmed open space environments catered to meet the needs of the surrounding residents. There are several different types of parks within the Specific Plan area, including:

- A central park
- Sports complex
- Cycling Park
- Sports fields
- Agricultural Education Center
- Neighborhood parks of various size and configuration

These parks connect to surrounding neighborhoods and the natural open space within the community through a series of pedestrian and bicycle trails that run through the plan area.

Parks and recreational areas are described in more detail in Section 2.4, Parks and Open Space Plan and Section 4.6 of the Design Guidelines (Landscape Guidelines).

### 2.3.8 Open Space

Apart from parks and amenity areas, the KPC Coachella Specific Plan also provides approximately 754 acres of drainage areas that provide passive recreation and other open space (see Figure 2.9). This includes walking trails, an additional 68 acres of space within Village E is designated for agricultural production, including vineyards.

A pedestrian and bicycle trail is anticipated to traverse under the Interstate-10 Freeway and safely connect the KPC Coachella community with the La Entrada community to the south.

Open space areas are described in more detail in Section 2.4, Parks and Open Space Plan.

### 2.3.9 Land Use Flexibility

Land use flexibility is an important component that allows the KPC Coachella Specific Plan to adapt to changing market conditions and market demand over the course of development of the project. The KPC Coachella Specific Plan was developed as a flexible tool to anticipate a variety of conditions and minimize the number of amendments required after adoption.

Land use flexibility and implementation measures are described in more detail in Section 5, *Administration and Implementation*.

#### ***Mixture of Land Uses***

Six planning areas totaling approximately 220 acres across all five villages are designated as Mixed-Use, allowing for development flexibility in the event that the development market and product demand changes. This will ensure these planning areas are responsive to the needs of the community and of the City of Coachella. The Specific Plan allows for the following (see Section 3, *Development Regulations*, for a full listing of permitted and conditional uses):

- high-density residential uses up to 40 dwelling units/acre to accommodate a range of housing opportunities
- commercial, retail, and entertainments uses, and
- office or public/community uses.

### ***Wellness University (District Overlay)***

Planning Area A-5 (PA A-5) is designated as medium density residential with a Wellness University Overlay District intended to allow for medically-related educational facilities to be developed in this area should the market provide the opportunity for it. The Overlay District sets in place the structure for PA A-5 to develop as medium-density residential uses but provides flexibility for the area to adjust to meet the needs of the community in the future. Development in this area must comply with the provisions discussed in Section 5. of this Specific Plan. In the event that this area develops as a Wellness University use, the anticipated residential units will be reallocated to the rest of the community but not exceed the amount anticipated in Table 2-1, *Land Use Summary*, above.

## **2.4 Parks and Open Space Plan**

KPC Coachella includes approximately 1,171 acres of open space, approximately 43% of the entire plan area, comprised of active and passive parks, sports fields, and natural drainage and other open space areas. These parks and open space features are shown on Figure 2-9: *Parks, Trails, and Open Space Plan*.

### **2.4.1 Parks, Greenways, and Amenity Centers**

KPC Coachella has several central park and recreation areas that are programmed to provide community gathering spaces, indoor and outdoor recreational opportunities, sports fields and courts, public art, playground areas, lakes/water features, gardens, trails, and natural spaces.

Park categories have been defined generally following the City's Parks Master Plan park types and are outlined below. Details of the proposed contents and design of the major project parks are included in the Landscape Plan section of the Specific Plan's Design Guidelines (Section 4.6). Specific permitted and conditional uses are outlined in the Development Regulations of this Specific Plan (refer to Section 3). Maintenance and phasing of project parks is outlined in Section 5, Administration and Implementation.

#### ***Major Community Parks***

The KPC Coachella has two primary Community Parks; the Central Park located in Village B and the Sports Complex & Cycling Park in Village C. These parks are centrally located in higher density areas and along transportation routes in order to provide the community with access to recreational facilities and open space areas.

The Central Park area is intended to be a combination of active and passive recreational areas focused around the concept of creating a space for the community to come together, be it for events, celebrations, recreation, or otherwise.

The Sports Complex & Cycling Park are heavily programmed areas consisting of formal sports fields, courts, and other facilities. This area is envisioned as not only a valuable resource for the community, but a regional attractor for local sports tournaments or major events.

### ***Sports Fields***

Located within the Southern California Edison (SCE) and local gas easements between Villages C and D are additional sports fields and passive recreation trails. Due to the restricted use of land within the utility easements, there are limited structures that may be constructed in this area. These fields provide additional capacity for recreational leagues, practice space, and regional tournaments.

The sports fields also connect directly to the neighborhood park located within the Active Adult Community (Village D) and the paseo running from that park into Village D (see Figure 2-9). This connection provides non-motorized transit connection with the local drainage ways and the rest of the KPC Coachella community.

### ***Neighborhood Parks***

Each village is comprised of unique neighborhoods with separate community open spaces. These spaces are anticipated to be largely passive in nature, with seating and viewing areas, limited turf, and tot lots. As new residential communities are developed by private builders, it will be required that community amenity and open spaces are included in each community. These facilities will serve residents with amenities such as tot lots, limited lawn space, barbecue stations, restrooms, and picnic areas. These parks are not included in the open space requirement met by the parks and open space established in the land use plan and are an added benefit to the community.

## **2.4.2 Open Space**

Natural open space constitutes a large part of the overall open space and recreational opportunities within KPC Coachella. The majority of this space is located within the drainage/wash areas that permeate throughout the plan area as well as around the edges of KPC Coachella. Consistent with the Coachella Parks and Recreation Master Plan, these Open Space Areas are anticipated to generally be free from development except for uses specifically allowed in the Specific Plan Development Regulations in section three. These areas are shaped by the natural drainage canals as part of the existing topography on-site and are anticipated to remain as desert wash landscape with interpretive signage, vista points, and pedestrian and bicycle trails atop the drainage areas.

### ***Drainage/Wash***

Drainage and other natural open space areas account for approximately 754 acres throughout the community. These areas are required drainage channels needed to facilitate water flow throughout the site and use of them is limited to those specifically allowed in the Development Regulations of the KPC Specific Plan.

There are four major drainage channel areas running from northeast to southwest diagonally across the site with additional large open space areas along the northern and southeast edges of the plan area. These areas will include hiking and other passive recreational opportunities and serve as pedestrian connections. Bridges are strategically located to provide both vehicular and pedestrian crossing of the drainage canals and circulation throughout all five KPC villages.



### **2.4.3 Agricultural Areas**

Village E, located in the easternmost portion of the plan area, includes 68 acres of unique open space area designated for agricultural production. This may include vineyards for the production of table grapes, date palm groves for resale, or other agricultural products that are suitable for the region. Village E is also anticipated to include an Agricultural Education Center that can provide classes and programs on topics such as gardening, food production, and the local ecosystem.





FIGURE 2-9: PARKS, TRAILS, AND OPEN SPACE PLAN





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## 2.5 Circulation Plan

The Circulation Plan (see Figure 2-10) consists of approximately 179 acres of land dedicated to the roadway network necessary to serve the proposed project. In addition to this, a network of multi-use trails (promenades and paseos), bikeways and multi-purpose pathways will be developed within the project, to provide residents with additional mobility options throughout the development.

Traffic generated by the proposed project is planned to be accommodated by a street network that supports and meets City of Coachella Level of Service Criteria. Refer to Figure 2-10, *Circulation Plan*.

### 2.5.1 Regional Circulation

The City of Coachella is located in the Coachella Valley in eastern Riverside County, connected to the region by Interstate 10. Regional access for the KPC Coachella Specific Plan is provided via a planned interchange with Interstate 10 at Avenue 50, designed as part of the La Entrada Specific Plan, approved by the City in 2013. Approximately 33 acres of grading and right of way for the proposed I-10/Avenue 50 interchange is anticipated within the property boundaries.

### 2.5.2 Arterials

Major Arterials within the project are proposed as six-lane roadways and are planned to include a 14-foot-wide raised landscaped median and incorporate a 12-foot wide improved off-street trail on both sides of the road which includes a 6-foot wide bicycle lane and 6-foot wide pedestrian path (see Figure 2-11A).

Major Arterials include Avenue 50 and a portion of C Loop fronting the proposed hotel entertainment center.

Avenue 50. Avenue 50 is proposed as a six-lane Major Arterial roadway that will extend northward from the planned Avenue 50 Interchange with I-10, providing access into the Specific Plan area. Avenue 50 is anticipated to provide regional access from the proposed I-10 interchange into the City of Coachella and will also accommodate traffic generated by the KPC Coachella project and the previously approved La Entrada Specific Plan project south of the I-10. Refer to Figure 2-11a, *Typical Street Sections*.

Primary Arterials within the project are proposed as four-lane roadways with a raised 14-foot median and 12-foot multipurpose trail. Primary Arterials comprise the backbone of the circulation network, extending from Vista Del Norte to the west through a system of loops providing access within the Specific Plan area (see Figure 2-10).

### 2.5.3 Major Roadways

Major roadways within the project are proposed as four-lane roadways and plan to include a 14-foot-wide raised landscaped median. In addition, the major roadways are proposed to have a 12' bike/NEV (Neighborhood Electric Vehicle) lane, separated from the road by a 5' wide shoulder and a 5' wide landscaped buffer in both directions. Major roadways include Vista del Norte, which will provide access to the site, connecting with Dillon Road (see Figure 2-10).

Major roadways for canal crossing are proposed as four-lane roadways and include a four-foot-wide raised landscaped median. The Major roadways for canal crossing are also proposed to include an 8' wide bike/NEV lane and 6' wide pedestrian path in both directions.

Major Roadways are proposed to provide primary connectivity to other roadways and pedestrian and bike paths within the project; they provide north-south and east-west access.

#### 2.5.4 Collectors

Collector roads within the plan area are proposed as two-lane roadways with a striped 12' center turn lane and 8' bike/NEV (Neighborhood Electric Vehicle) lanes in both directions. Collector roads are proposed to provide access to the interior planning areas and connect them with the larger circulation network. Collector roads are currently proposed in Village A and Village E where the proposed residential densities are lower. A large 8' landscape buffer on both sides separates the pedestrian walkway from vehicular and bicycle traffic.

#### 2.5.5 Local Roads

Local streets are proposed within each planning area to facilitate movement of vehicles and pedestrians and connect to Arterial and Collector roadways. Two types of local roads are proposed:

- A two-lane roadway with 10' drive aisle and 7' on-street parallel parking and no on-street bicycle facilities.
- A two-lane roadway with no on-street parking or bicycle facilities.

#### *Gates*

Gated projects are permitted within the Specific Plan. Gates may occur on collector or local roads. If provided, gates must include adequate stacking distance and an adequate turn-around area before the gate and meet Riverside County Fire Department standards.

#### *Alleys*

Alley-loaded residential products are allowed within the KPC Coachella community as detailed in the Design Guidelines and Development Regulations. Alleys are private roadways that provide access to rear-loaded homes and include a minimum 20-foot wide paved surface. Additional width may be provided for parking as part of a design review application.

#### 2.5.6 Non-Motorized Circulation

The KPC Specific Plan area includes design elements to accommodate multiple forms of non-motorized circulation in order to increase walkability within the community and decrease the number of vehicle trips within the plan area. The transportation system includes:

- Twelve-foot multi-purpose trails for walking, biking, and the use of Neighborhood Electric Vehicles (NEVs) on all six-lane arterial and four-lane major roadways;
- Six-foot pedestrian walkways on all two-lane collector and local roadways;
- Eight-foot bike/NEV lanes on all two-lane collector roadways and channel crossings; and
- A large system of natural off-street trails and walkways that connect each of the planning areas (see Figure 2-9).

Figures 2-11(a and b) show the typical configuration for all roadways within the plan area, including the location and sizing of all non-motorized transportation paths.

The project is also anticipated to connect to the La Entrada community to the south by way of a pedestrian trail running underneath the I-10 Freeway.

### ***Multi-Purpose Trails***

Off-street multi-purpose trails are used to connect the five villages within the KPC Coachella community (see Figure 2-9). All six-lane arterial and four-lane major roadways contain separated twelve-foot multi-purpose trails on each side of the roadway that will provide connections from the west along Vista Del Norte to proposed regional Class I and Class II bike lanes shown in CVAG's Non-Motorized Transportation Plan.

KPC Coachella will also include 50- to 100-foot wide pedestrian paseos in strategic locations to further link the five villages. The paseos are comprised of bicycle/NEV travel lanes and pedestrian walkways separated from vehicular traffic by landscaping or other buffering methods (see Figure 10).

Additionally, there is an expansive network of off-street pedestrian/bicycle trails that run throughout the community. Many of these off-street trails run along the desert wash areas and connect residential neighborhoods with commercial uses, employment opportunities, and parks, open space, and recreational opportunities. Figure 4-1: *Master Landscape Plan*, shows the full network of off-street trails along with the proposed active and passive recreational open space areas.

### ***Neighborhood Electric Vehicle (NEV) Routes***

Neighborhood Electric Vehicles (NEV) are low-speed electric vehicles with a maximum achievable speed of 25 miles per hour (mph) on a paved level surface. The State of California Vehicle Code defines NEVs in more detail and provides guidance to local municipalities on the governance of use for specific types of NEVs.

NEVs may utilize designated trails within KPC Coachella as well as roadways with a posted speed limit of less than 25 mph. NEV use is encouraged throughout the community as a quick and efficient way to make short trips and potentially decrease the number of vehicle miles traveled on roadways within the community. EV supportive technology, including charging stations, will be incorporated within mixed-use developments within the community.

The KPC Coachella Specific Plan allows, but does not mandate, the use of NEVs.



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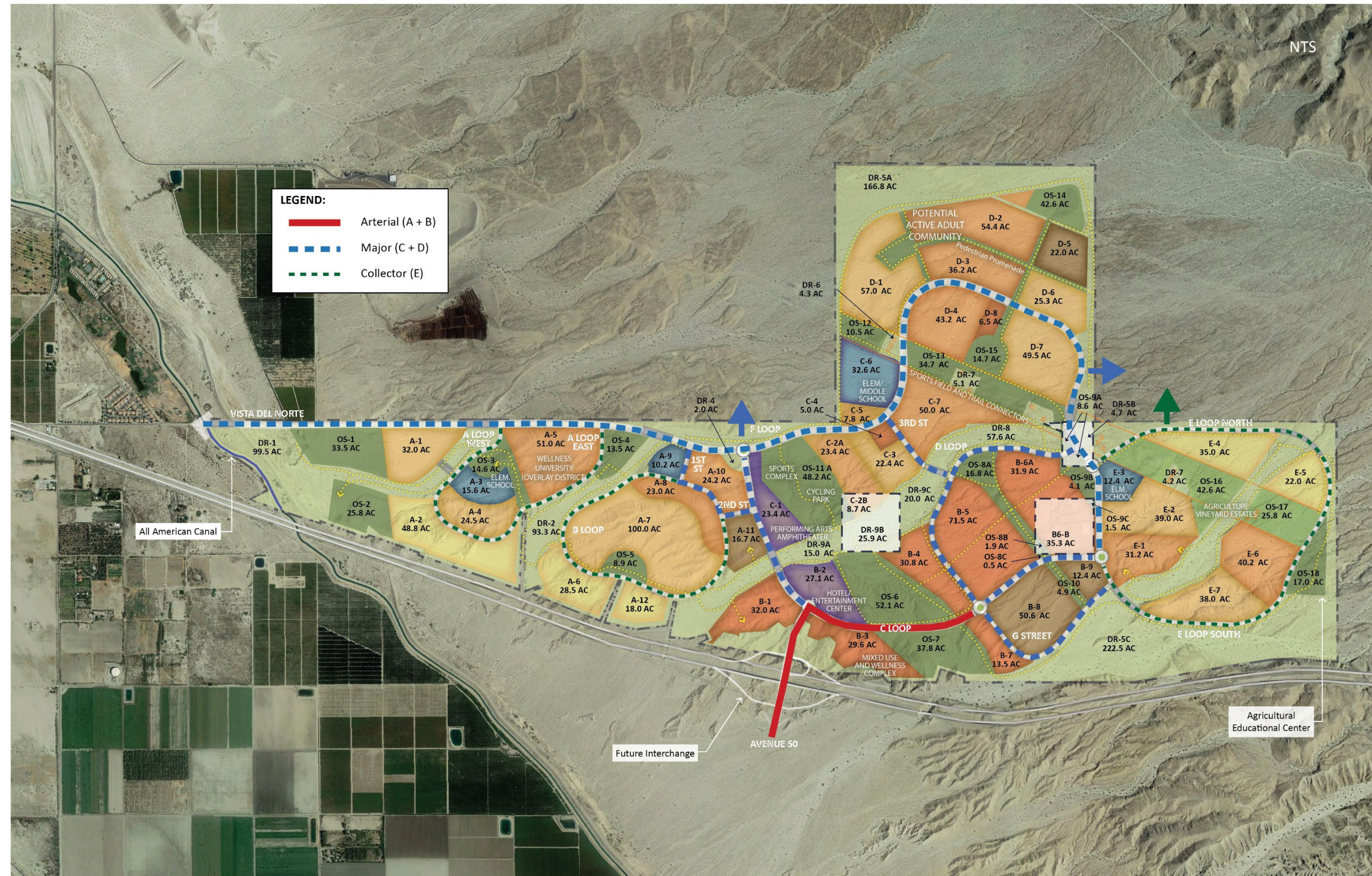


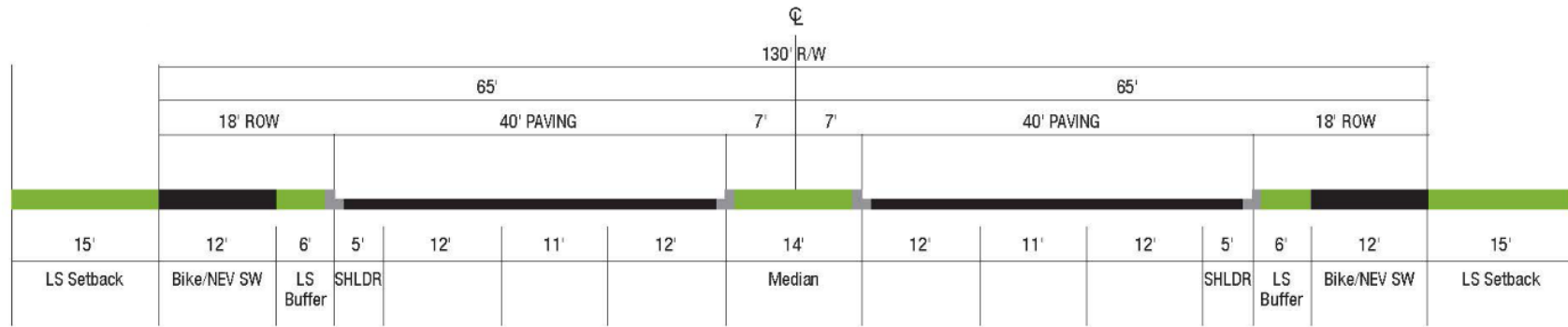
FIGURE 2-10: CIRCULATION PLAN



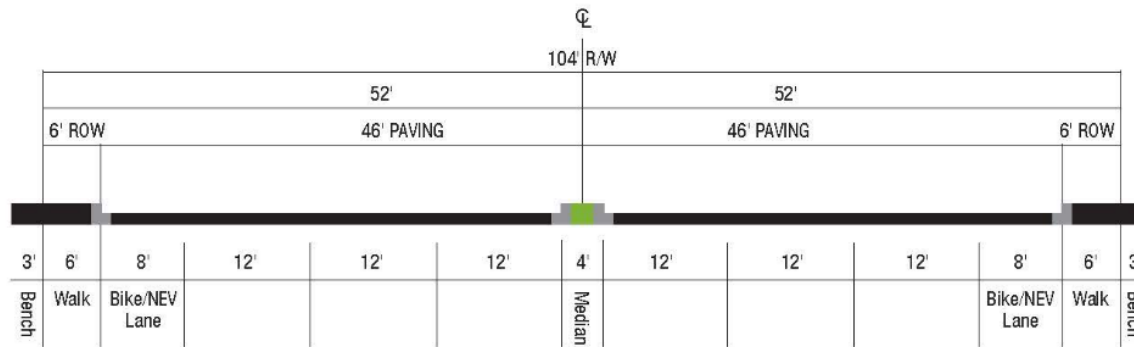


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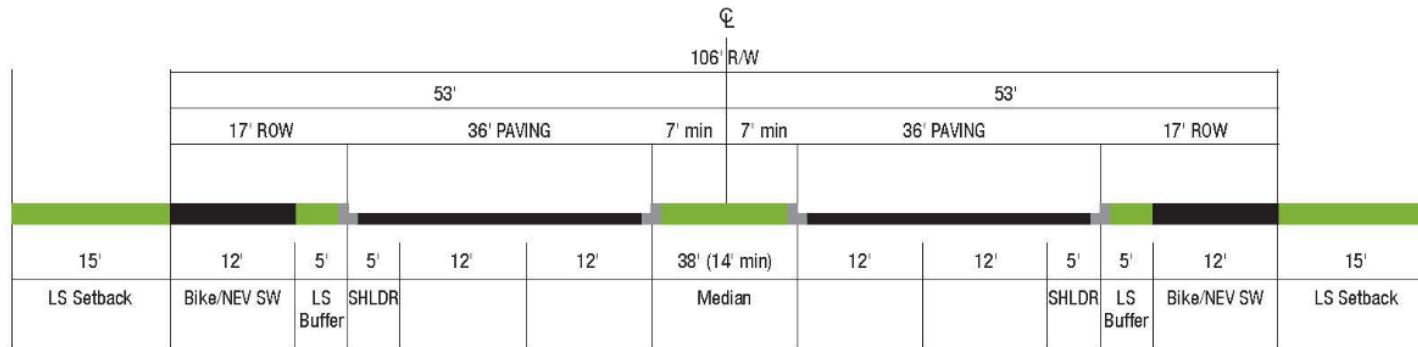


**A 6-LANE ARTERIAL**

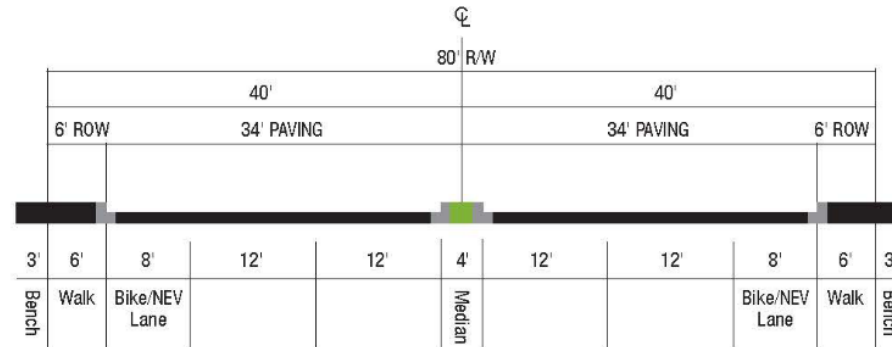


**B 6-LANE ARTERIAL (CANAL CROSSING)**

**FIGURE 2-11A: TYPICAL STREET SECTIONS**

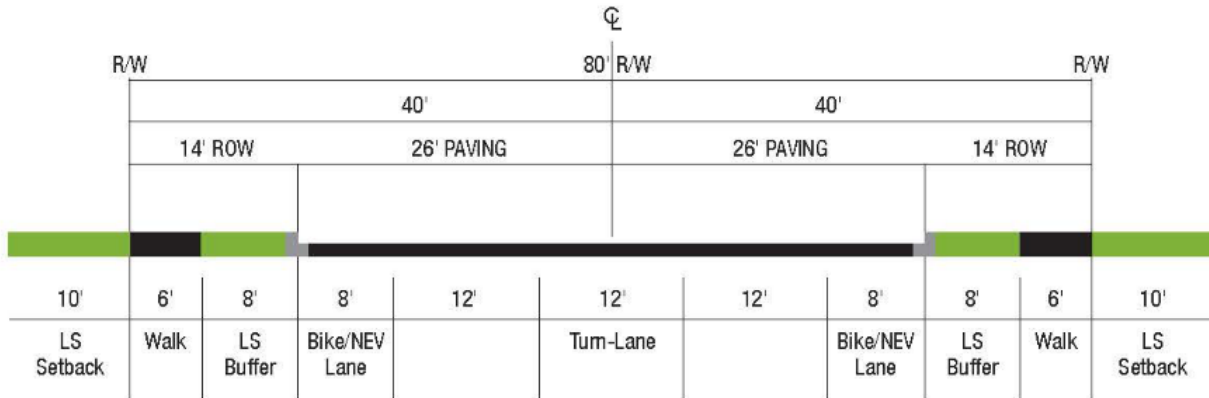


**C 4-LANE MAJOR**

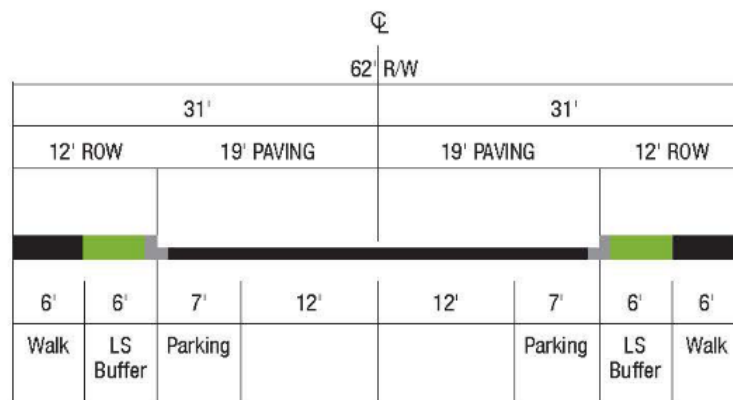


**D 4-LANE MAJOR (CANAL CROSSING)**

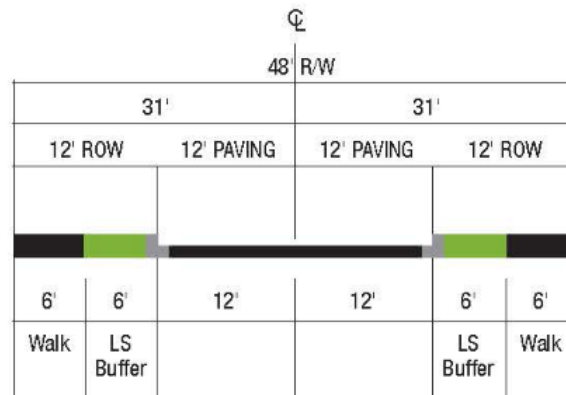
**FIGURE 2-11B: TYPICAL STREET SECTIONS**



**E 2-LANE COLLECTOR (SECONDARY)**



**LOCAL STREET: W/ON-STREET PARKING (RESIDENTIAL)**



**LOCAL STREET: NO ON-STREET PARKING (RESIDENTIAL)**

**FIGURE 2-11C: TYPICAL STREET SECTIONS**



At Vista Del Norte, there is a 30-foot-high earthen flood control levee (the Eastside Dike) that is parallel to the Coachella Canal located on the northeast side of the canal. The roadway will cross the Canal and the Dike and allow for drainage flows to pass under the roadway on the northeast side of the levee. There are two crossings required at this location; one will cross the irrigation canal (Coachella Canal) and the other will cross a flood control drainage area behind the existing levee. Crossings at these two locations will be accomplished by series of multi-cell arched concrete culverts.

### *Vista Del Norte Crossing*

The KPC Coachella Specific Plan circulation network would require crossings over the Coachella Canal and Eastside Dike to connect with the remainder of the City of Coachella to the west. Crossings will also be required within the project area along the drainages that transect the Specific Plan Area. These crossings are explained in further detail below (see Figure 2-12).

## **2.5.8 Drainage Crossings**

The Typical Roundabout Detail (see Figure 2-13 and 2-14), illustrates a schematic design, although final design may vary at the time of final engineering. The Specific Plan proposes several potential roundabout locations around the major 4-lane roadway that makes up the internal loop road. These locations facilitate the movement of traffic off of the major roadway and onto secondary and local roadways.



With modern roundabouts, approaching traffic must wait for a gap in the traffic flow before entering the intersection and always yield-at-entry (yield-to-left). Since they involve deflection at the entry points and counterclockwise circulation around the center-island, these devices will limit speed and calm traffic. One-way roundabouts (see image below for a typical roundabout feature) require traffic to circulate counterclockwise around a center island. Roundabouts should be used primarily on major and secondary streets, often substituting for traffic signals or all-way stop signs. They typically have raised islands to channel approaching traffic to the right.

## **2.5.7 Roundabouts**

For the Canal crossing at this location, one or more reinforced concrete box culverts (RCB) will be used. For the drainage facility behind the levee, a series of concrete arch culverts are proposed. The Canal crossing with RCBs have been successfully used by CVWD in the past for similar road crossings based on the ease of construction and performance considering their maintenance requirements for the irrigation canal.

The drainage culverts behind the levee will utilize precast concrete arch sections that offer longer spans than traditional rectangular RCB sections.

Road sections in bridge conditions are reduced in width as shown in Figure 2-11(a and b), *Typical Street Sections*.

### ***Interior Street Crossing***

Drainage crossings for the interior street crossings would be concrete box or arch culverts. The number of cells in the culvert will be dependent upon the projected storm water flows for a particular crossing. In the event that the multi-cell precast arched culvert is less practical, the multi-cell reinforced concrete box culvert (RCB) may be used. The advantages such as aesthetics and number of spans will be evaluated for each alternative during final design.

Where appropriate, low flow/"Arizona" crossings may be utilized for road crossings of smaller drainages, subject to City engineer review and approval as part of engineering plan review.

### ***Paseo Crossings***

Trail crossings of the Village Paseo would be designed as low flow " Arizona" crossing set at grade. Trail maintenance would be required after storm events, provided by the Homeowners Association or a maintenance district.



***Typical Box Culvert***



***Typical Arch Culvert***



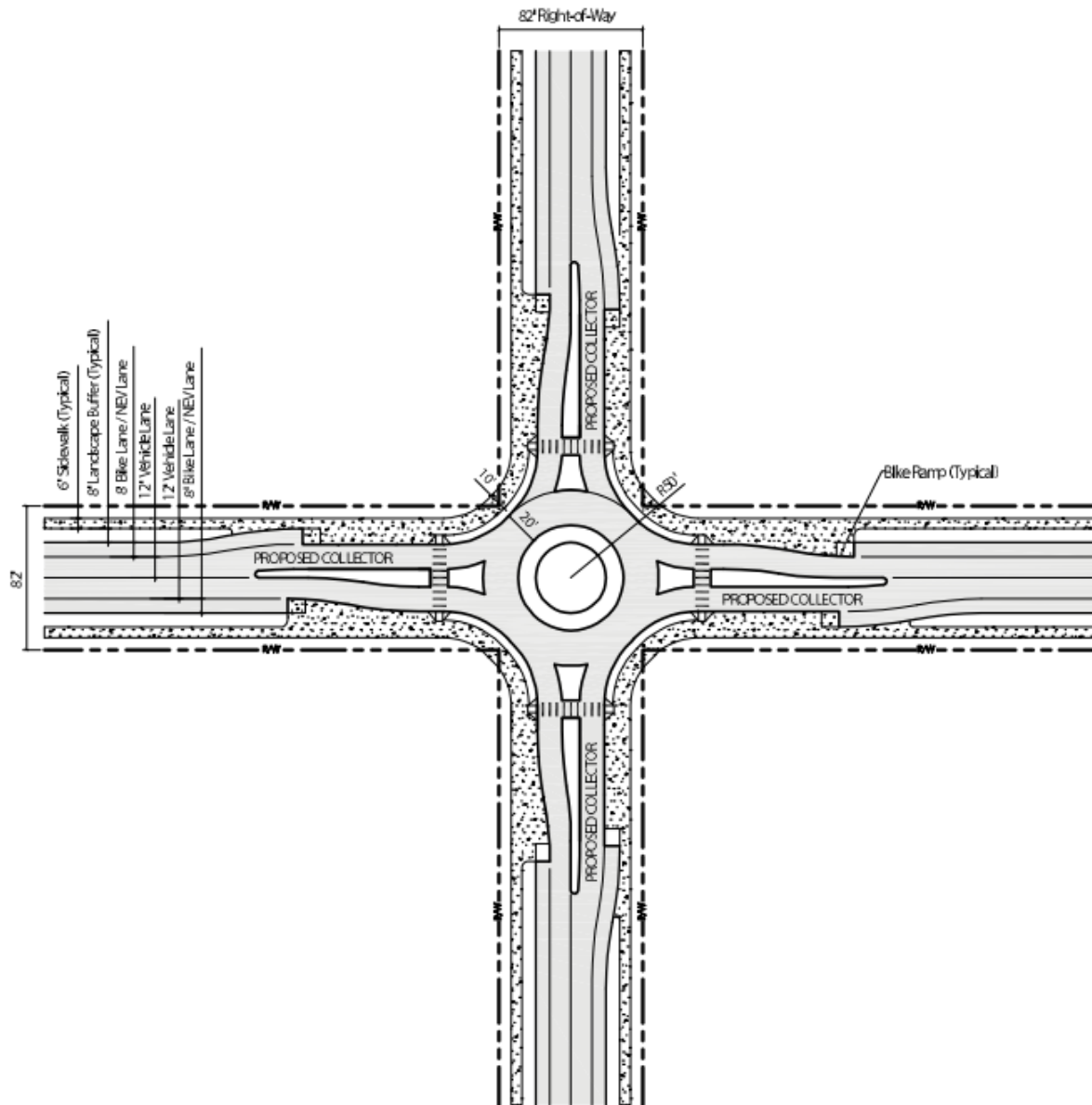


**FIGURE 2-12: DRAINAGE CROSSINGS**



### **2.5.9 Public Transportation**

Public transit service within the City of Coachella is provided by Sunline Transit Agency. Lines 90, 91, 95, and 111 all serve portions of the City of Coachella. Route 90 currently runs from the downtown area north, ending on Dr. Carreon Blvd. Route 91 runs from the City of Indio south through Coachella, Thermal, and Mecca and ending in the One Hundred Palms area. Route 95 runs on the east side of Highway 111 from downtown Coachella to the North Shore area just north of the Salton Sea. Route 111 runs from downtown Coachella west through Palm Desert, Rancho Mirage, Cathedral City, and Palm Springs. The KPC Coachella Specific Plan, coupled with the proposed La Entrada Specific Plan area, provides the opportunity for the extension of the Sunline Transit Agency service area further east. Potential bus lines along Avenue 50 and Vista Del Norte will serve to increase connectivity between the plan area, La Entrada Specific Plan area, and the City of Coachella. An extension of service to the plan area will expand access to housing, commercial retail, entertainment, open space, and recreational opportunities to residents around the region.



**FIGURE 2-13: TYPICAL ROUNDABOUT – COLLECTOR TO COLLECTOR**

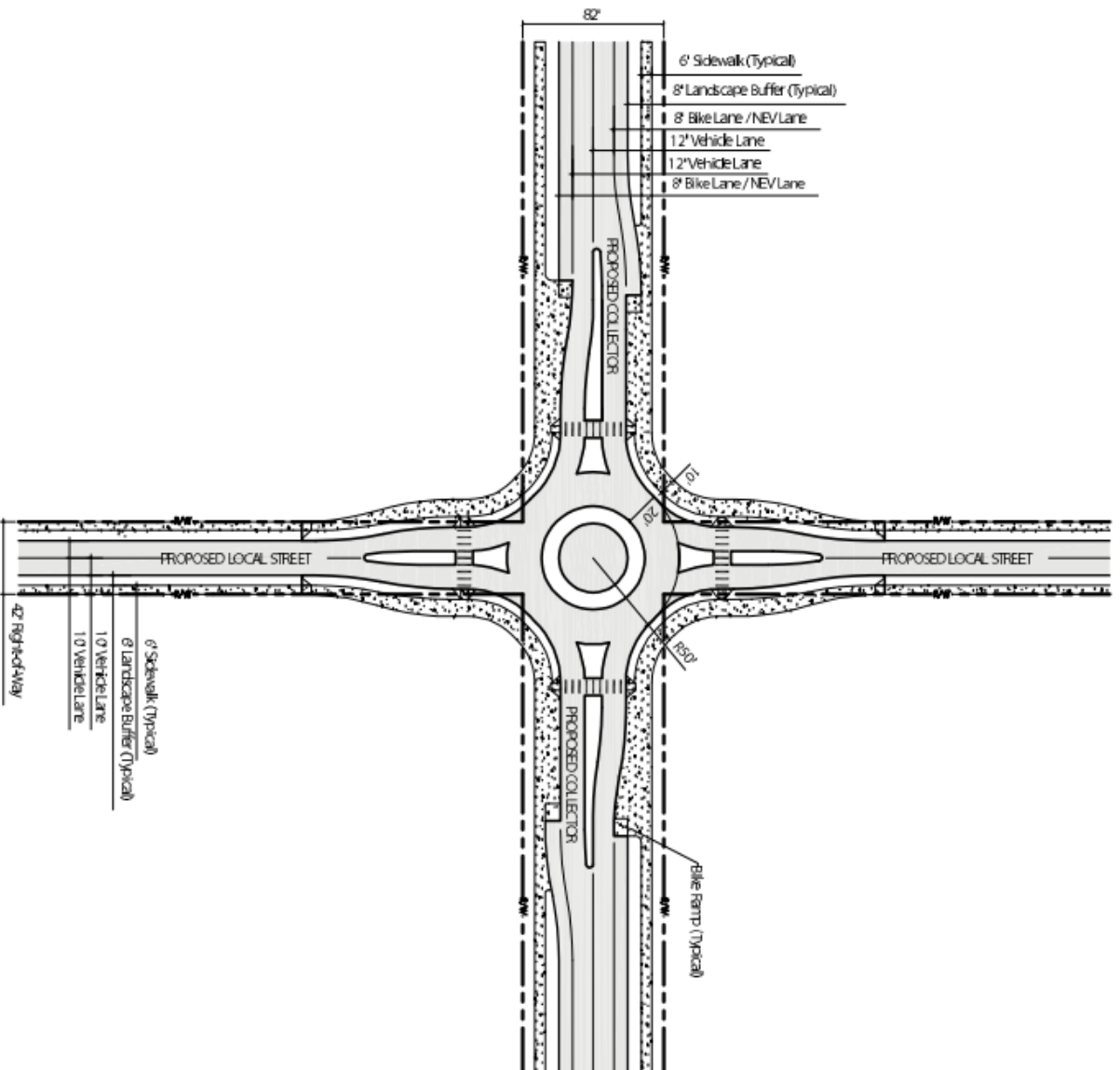


FIGURE 2-14: TYPICAL ROUNDABOUT – COLLECTOR TO LOCAL ROAD



## 2.6 Grading Plan

The grading plan is designed to accommodate the proposed development while taking development constraints such as existing topography, drainage patterns, and on-site fault zones into consideration.

### 2.6.1 Conceptual Grading Plan

For purposes of illustrating the proposed overall grading concept for the KPC Coachella Specific Plan area, a Conceptual Grading Plan has been prepared. Rough grading for the KPC Coachella Specific Plan Area is shown on Figure 2-15, *Conceptual Grading Plan*. This includes earthwork required for each of the eight channel crossings within the Specific Plan Area. Areas identified as natural open space will generally remain ungraded except in the instance where certain infrastructure needs to be constructed (water line, tank, etc.).

Grading plans will be designed so that no import or export from the site is required, and to conform and adhere to applicable County standards (see grading standards in the Appendix of this Specific Plan). Grading will be performed in phases to minimize export and grading quantities by phase. It is anticipated that grading will be contained within the project boundaries and only extend beyond the project boundaries in cases where off-site infrastructure improvements, such as road or utility improvements, are required.

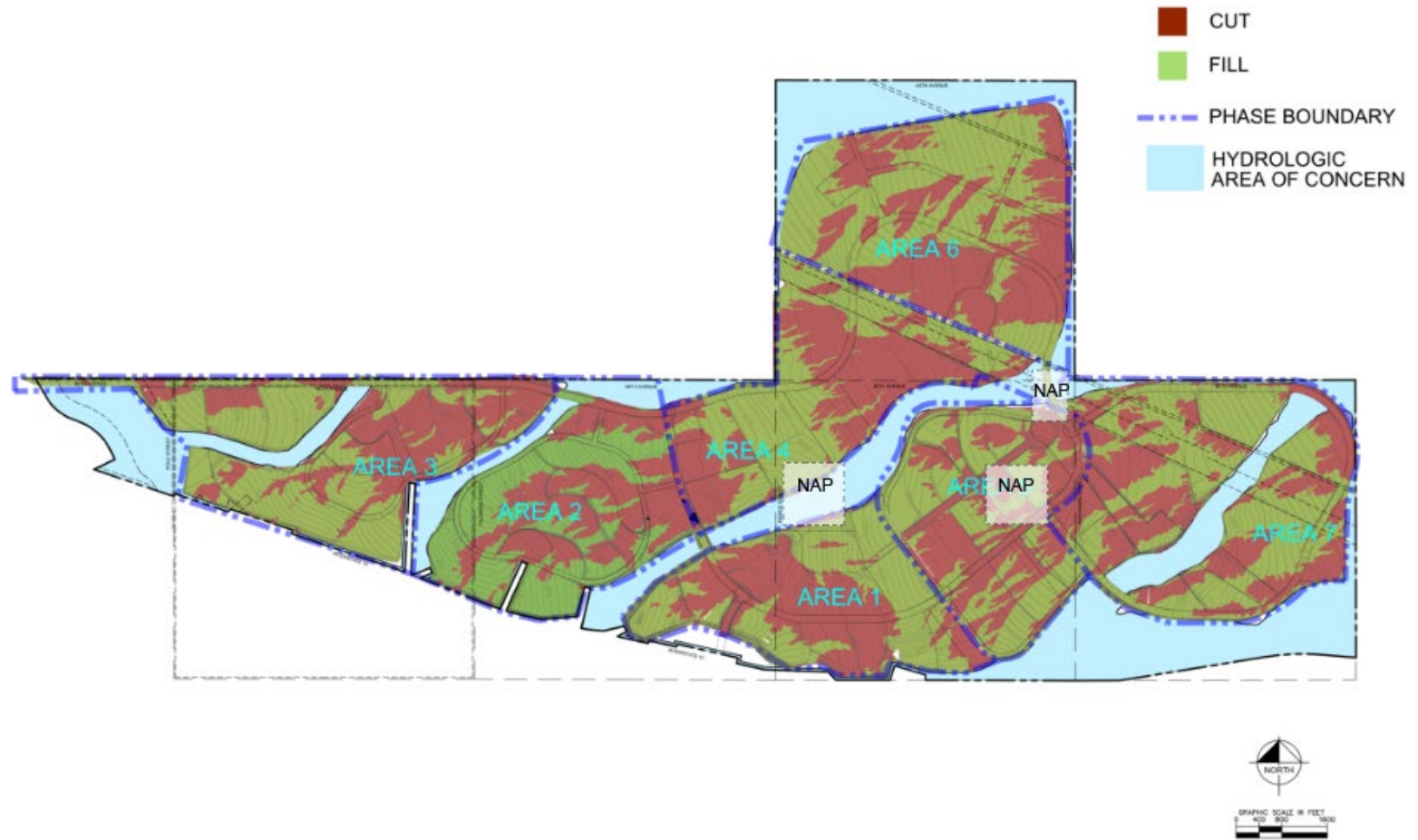
Rough Grading is anticipated to be done prior to or during individual development of planning areas to create building sites for homes and commercial uses.

### 2.6.2 Grading Standards

The following standards shall apply to all development within the KPC Coachella Specific Plan area:

- Grading will conform to the requirements of the California Building Code and the County of Riverside grading standards, a copy of which is included in the KPC Coachella Specific Plan appendix as a reference. The grading standards from the County of Riverside in effect at the time a grading permit is applied for shall apply;
- All grading shall conform to the requirements of the project geotechnical and soils studies;
- All grading activities shall be in substantial conformance with the Conceptual Grading Plan, and shall implement any grading-related mitigation measures outlined in the KPC Coachella EIR and Mitigation Monitoring Program;
- The following specifications shall apply for retaining walls constructed within various areas of commercial or residential lots:
  - Typical retaining walls will be no more than 6 feet in height
  - The minimum distance between any 2 retaining walls shall be equal to or greater than the height of the taller of the 2 retaining walls. The distance between the 2 walls shall be measured as the horizontal separation between the 2 closest wall faces; the back face of the downslope retaining wall and the front face of the up slope retaining wall;
- Cut and fill slopes shall be finished at a maximum 2:1 grade, consistent with Riverside County Grading Standards;

- Maximum distance between slopes shall be consistent with Riverside County Grading Standards;
- Best Management Practices (BMPs) used for slope stabilization shall be consistent with Riverside County, as well as rough grading plans to be filed upon project construction;
- Post-grading restoration (re-naturalization) of desert washes and natural areas disturbed during grading shall be required. Landscape plans for re-naturalization shall be included as part of grading plan submittal;
- All streets shall have a gradient not exceeding 15 percent;
- Slopes exceeding three feet in vertical height shall be protected per County standards prior to the beginning of the wet season (October to March) or as otherwise provided per the approved Erosion Control Plan;
- Prior to initial grading activities, a soils report and geotechnical study shall be performed with further analyses on-site soil conditions and appropriate measures to control erosion and dust;
- Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects;
- The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties; maintenance responsibility for landscaped areas will be determined at the time of subdivision maps and landscape construction documents;
- Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete;
- Grading work shall be balanced on-site, wherever possible. Stockpiling of soil is permitted within the site to allow for balanced grading by phase;
- Graded, but undeveloped, land shall be maintained weed-free and planted with interim erosion control measures within 45 days of completion of grading, unless building permits are obtained;
- A grading permit shall be obtained from the City of Coachella prior to grading. Grading permits shall conform with project conditions of approval and EIR mitigation measures; and
- If any historic or prehistoric remains are discovered during grading, a qualified archeologist and paleontologist shall be consulted to ascertain their significance.
- To the extent possible future development shall be consistent with Program 10.8 of the Coachella General Plan Sustainability Element for preservation of natural land features



**FIGURE 2-15: CONCEPTUAL GRADING PLAN**



## 2.7 Infrastructure & Services

The KPC Coachella Specific Plan will require a variety of public facilities and services to support and serve the needs of its residents and businesses. The infrastructure system will seek to incorporate the highest level of sustainability achievable for a project of its kind and in its specific geographic location.

The various public facilities will be designed to enhance and complement the vision and design objectives of the Project and all facilities will be developed to meet or exceed the required industry standards of the respective service providers and as required by the applicable government standards

Services include water, sewer, storm drainage, solid waste disposal, fire and police protection, schools, and library services. Table 2-8: *Service Providers* lists the various service providers for the Project.

TABLE 2-8: SERVICE PROVIDERS	
Service	Provider
Water	Coachella Water Authority
Wastewater	City of Coachella
Electric Service	Imperial Irrigation District
Gas Service	Southern California Gas
Communications	Frontier/Charter/Spectrum
Fire Protection	Coachella Fire Department under contract with Riverside County
Police Protection	Coachella Police Department under contract with Riverside County
Schools	Desert Sands Unified School District Coachella Valley Unified School District
Library	County of Riverside
Solid Waste Disposal/Recycling	Burrtec

### 2.7.1 Water Concept Plan

A domestic water system study was prepared for the KPC Coachella Specific Plan by Charles Marr Consulting, dated November,9,2022, which contains the full analysis and technical detail of the project's water facilities.

#### *Water Supply*

The City, and future residents and businesses within the KPC Coachella Specific Plan area, will rely on groundwater provided by six active wells which provide a total firm capacity for the City of 8,454 gpm and supplied a total demand of 5,896 AF in 2016. On average each well provides approximately 1,000 AFY, ranging in design capacities of 1,371 gpm to 2,323 gpm. The City's 2017 Water Master Plan calls

for six new wells to be developed for the 150+ Zones by the year 2035, based on the assumed phasing of major development projects proposed at or above approximate mean sea level elevation of 30 feet.

According to the City's Water Master Plan, the KPC project lies within the Desert Hot Springs Subbasin and the Fargo canyon Subarea, which has recently been characterized as generally low-quality water with limited yield potential. Therefore, all groundwater pumping will likely be developed within the subbasin west of the San Andreas Fault to avoid these concerns. For the purposes of the Project, it is anticipated that the conceptual sites identified by the City's Water Master Plan would be used for developing additional groundwater supply for the remainder of KPCC. KPCC's average and maximum-day demands for both domestic and irrigation needs are approximately 2,890 and 5,492 gpm, respectively, with a total annual production need of 4,663 AF for the development uses of the plan

The following are measures that the city will maintain in order to assure the most efficient use of water resources and meet the CVWMP 2020 goals:

- Continued CVWMP program implementation may include treatment of Canal water for domestic use
- In the event recycled water becomes available to the Project, the potential use of tertiary treated water will be reviewed to determine feasibility of its use for on-site landscaped areas to reduce the use of groundwater for irrigation.

### ***Potable Water Use***

The source (or sources) of water will be confirmed through the preparation of a Water Supply Assessment (refer to section 2.7.1 above). These sources may include but are not limited to the following:

- Drill additional wells depending on water quality and quantity;
- Potential use of non-domestic water including:
  - Tertiary treated recycled water from the City's wastewater treatment plant,
  - Tertiary treated recycled water from a new on-site wastewater treatment plant,
  - Untreated well water, and
  - Canal water;

The proposed primary water supply connection for KPC Coachella is at existing water facilities operated by the City and the Coachella Water Authority (CWA), and is located adjacent to Polk Street and Vista Del Norte (Avenue 46). A 16-inch transmission pipeline supplies flow to the 'High' (146-foot) Zone 1.5 million-gallon reservoir at this location (Dillon Road Reservoir). The City also operates a "Low" pressure zone for the lower lying development generally located south of Avenue 48 and west of Highway 86. Supply facilities serving the High Zone reservoir at the proposed connection are located at Avenue 48 and Tyler Street, which includes Well 18, a 5 million gallon reservoir, and booster pumps to supply flows to both City pressure zones. The High Zone booster pump station supplies the High Zone tank at the proposed connection location.

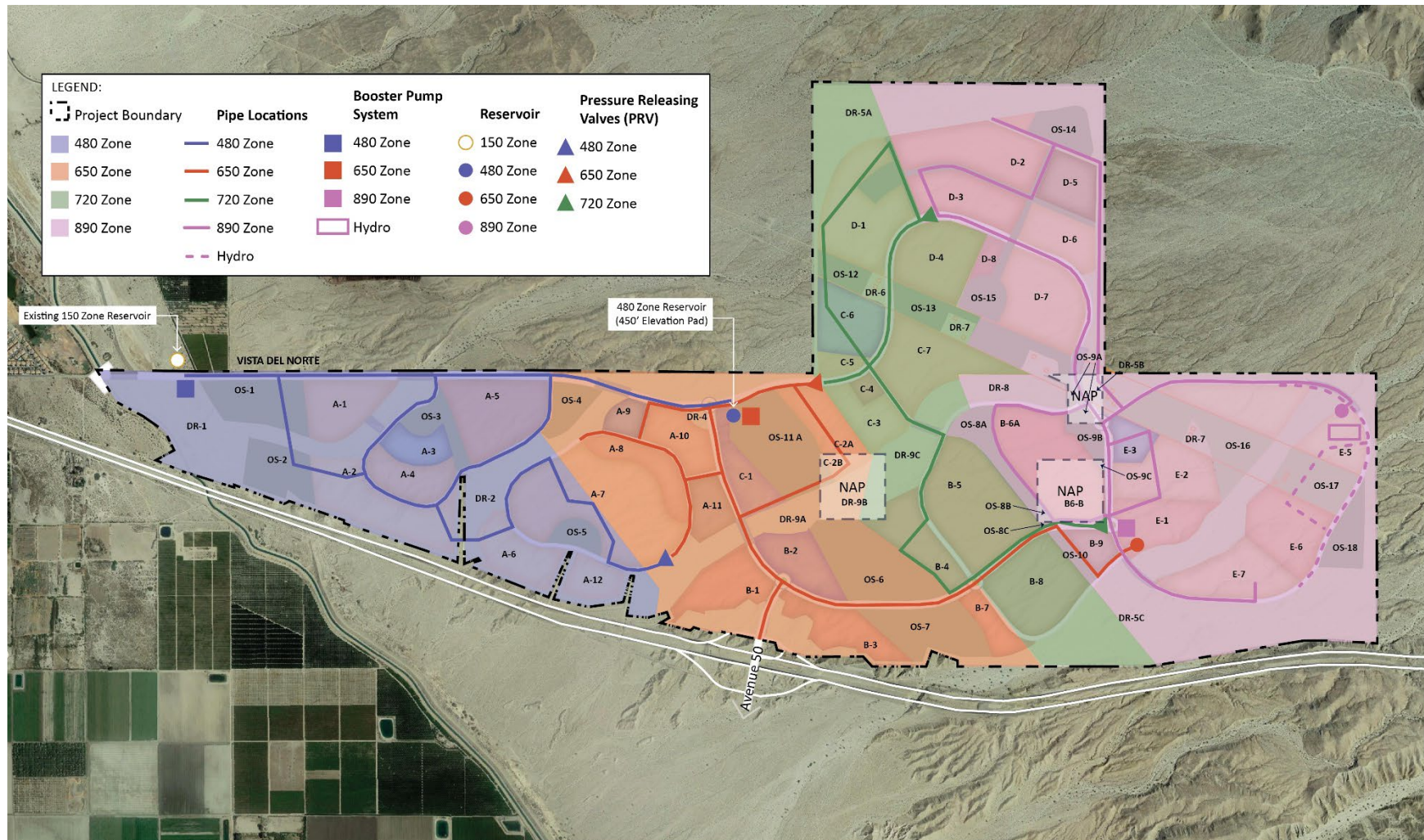
Based on the City's current Water Master Plan, the City anticipates development of higher zones for new water distribution systems to serve development in the higher elevations north of Avenue 48 and east of the Coachella Canal. Because the KPC Project area was included, higher gradients are required for the proposed distribution system. Therefore, additional wells are required to increase the City's water supply and production capacity for service to the Project. In addition, booster pumps, transmission and distribution piping, and reservoirs are planned within the KPC project boundaries in a multiple pressure zone configuration in order to serve elevations ranging from approximately 100 feet above mean sea level (amsl) to approximately 850 feet amsl.

### ***Non-Potable Water Use***

Planning areas within KPC designated for irrigation purposes, including open space, new agricultural production, parks, greenways and amenity centers could conceivably be served by a non-potable water supply, which would require a separate water system. However, for the purposes of the KPC Water Master Plan, the irrigation flows for these areas were incorporated into the domestic water system in order to account for 100-percent of project demands served by the domestic water system.

Currently the City's wastewater treatment plant is capable of secondary treatment. Expansion of the plant to bring it to a tertiary level in order to provide recycled water for irrigation purposes would be required. The City currently has no plans to construct a recycled water system, which would require dual plumbing in many areas of the Project, including pumping and storage facilities strategically sited for efficient service of the irrigation demands.





**FIGURE 2-16: CONCEPTUAL WATER PLAN**

### 2.7.2 Sewer Concept Plan

A sewer system study was prepared for the KPC Coachella Specific Plan by Charles Marr Consulting, dated October 31, 2022, which contains the full analysis and technical detail of the project's sewer facilities.

The study makes the recommendation that KPC Coachella develop a sewer system independent of other major development projects. Primary collection of on-site wastewater for 100 entirety of the plan area should be based on flowing through Village A to the west and Vista Del Norte (Avenue 46). The collection system is proposed to flow from east to west and north to south. Collection within KPC Coachella is naturally divided into four sewer sheds (as shown on Figure 2-17) which drain to local low points determined by the proposed land use, concept grading, and natural site drainage. Sewer sheds 1, 2, and 3 will likely require a lift station to pump flows to the next downstream sewer sheds.

A 24-inch gravity trunk main will run from a lift station located in the west portion of Village A along the north side of the I-10 Interstate and serve the majority of Village A, C and D. A second lift station located in the southwest portion of Village B will serve a portion of Villages B and C. Force main sewer lines will be used in limited areas where gravity sewer lines are not able to feed to the designated lift station due to topography constraints. A third lift station will collect wastewater from the remainder of Village B and the entirety of Village E.

Gravity sewer lines to service the planning areas will range from 8- to 18- inches in size and are located in the project's backbone streets.

Figure 2-17: *Conceptual Sewer Plan*, illustrates the sewer sheds configuration and proposed collection sewers and lift stations for the plan area.



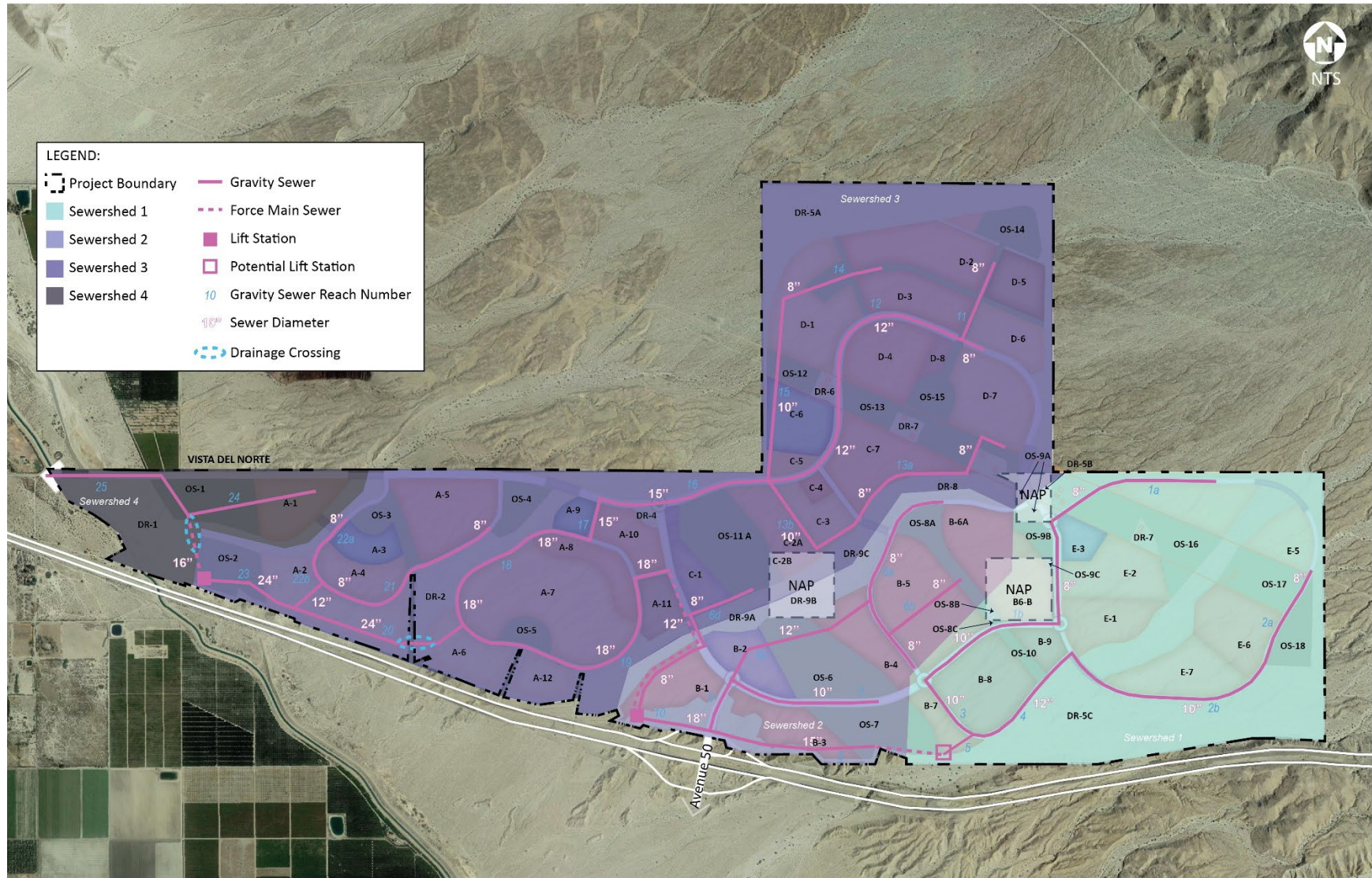


FIGURE 2-17: CONCEPTUAL SEWER PLAN



### 2.7.3 Drainage and Water Quality

Coachella Valley Water District (CVWD) provides regional flood protection within its stormwater service area (which includes the City of Coachella and the project site) by intercepting and conveying regional flood flows through the Coachella Valley to the Salton Sea. This regional stormwater conveyance system consists of the 50-mile Whitewater River/Coachella Valley Stormwater Channel (WWRSC/CVSC) and related tributary stormwater facilities. The Whitewater River, which originates on the southern slopes of the San Bernardino Mountains, flows southeast through the Coachella Valley to the Salton Sea.

A drainage study has been prepared for the project by Q3 Consulting, dated August 2019, which contains the full analysis and technical detail of the project's drainage facilities.

Storm water flows through the KPC Coachella site in several ways:

- Regional flows from north of the project will flow through the five on-site alluvial drainages. These flows will follow their historic course towards the Eastside Dike downstream from the project's southwestern edge. Two of the drainage will flow to the Dike north of the I-10 Freeway, and the remaining three drainage are conveyed under the freeway to the Dike south of the freeway (see discussion under Regional Drainage below).
- Project runoff from the developed areas will flow through storm drains or within streets and discharge to the alluvial drainages within the project limits. All of the project runoff will drain into one of the 21 on-site retention basins to be used to provide water quality treatment and mitigate increases in storm water runoff. A portion of the runoff will be held there until it percolates into the soil. Flows in excess of the required water quality and mitigation runoff volumes will be discharged through an overflow system into one of the five drainages. (see discussion under Retention/Water Quality Basins below).

#### ***Regional Drainage***

The KPC Coachella site is traversed by five alluvial drainages which trend in a southwest direction and terminate at the Eastside Dike of the Coachella Canal on the project's southwestern edge. These drainages convey stormwater from a large area north of Interstate 10 through the project area and ultimately to the Whitewater River. The project will be set-back from the main conveyance areas of these drainages. Setbacks will vary depending on stream conditions and potential for lateral movement of stream channel. In general, the development will be set back outside of the 100-year floodplain limits. Where encroachment does occur, the drainages will maintain the soft-bottom condition and included channelized banks with gently sloped 3:1 sidewalls. The open drainages and channelized banks will convey regional and local flows through the site and convey them to the Eastside Dike (north of the I-10 Freeway) or to the I-10 bridge and culvert crossings and from there to the Eastside Dike and further to the Whitewater River via Wasteway No. 2 (see Figure 2-18).

#### ***Backbone Drainage System Concept***

The drainage system for KPC Coachella is designed not to exceed outflows under a predevelopment condition. Storm flows will sheet flow within the backbone streets to a network of storm drains ranging in size from 24 inches to 78 inches. Within each drainage area, flows will be conveyed to the

on-site drainage channels, ultimately draining into the existing drainage area at the southwesterly side of the project.

***Retention/Water Quality Basins***

On-site retention will be required to reduce post-development runoff volumes to pre-development levels. On-site retention basins will be located throughout the site adjacent to the regional drainages for this purpose. The retention basins, as described herein and depicted on Figure 2-18 are conceptual in nature. Final requirements for basin size, location and dimensions will be specified in the KPC Coachella hydrology report and associated conditions of approval. CVWD, as the area flood district, will make the final determination about whether the basins are necessary and how the basins will be constructed.

In addition, each of the basins will be configured for water quality purposes. Each water quality facility will treat water from a specific watershed area. The facilities may be designed as soft bottom earthen structures and sized to capture and infiltrate the required water quality volumes. These water quality facilities are designed to capture storm flows from the mixed use and residential development.

Prior to the issuance of a grading permit, a detailed management plan will be prepared that will include, but not be limited to: detailed landscaped design criteria, a detailed plan for the control of vectors indigenous to wetlands, and a plan to evaluate the overall health of the facility on a regular schedule and implement any corrective actions necessary to maintain the facilities ability to improve water quality.

Figure 2-18, *Conceptual Drainage Plan*, illustrates the project's drainage features.





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### 2.7.4 Dry Utility Concept Plan

The KPC Coachella Specific Plan Development is located within the electric service territory of Imperial Irrigation District's - Energy Division. Gas service is provided by Southern California Gas Company. Telephone service is provided by Frontier Communications. Cable TV service is provided by Charter-Spectrum Communications.

#### ***Southern California Gas Company***

Southern California Gas Company (SCG) operates a standard gas distribution facility (42-44 PSI MOP) westerly of the Coachella Project. There is an existing 8" high pressure Distribution main and a 4" standard pressure distribution main at the intersection of Tyler and Vista Del Norte which is approximately 3000' westerly of the Project site. This location will be the "Point of Connection" for the project. Depending on the Natural Gas Loads for the site, the 4" standard pressure line will be the source for the site; however, if the loads for the site exceed the capacity of the 4" gas main, So Cal Gas will install a "Regulator Station" connected to the 8" high-pressure distribution line and will run a new standard-pressure main to the project.

There are three (3) existing transmission gas mains transitioning easterly and westerly through the northerly half of the Project. The Transmission Gas Mains transmit Natural gas from Texas to the west coast. At this time, it is the intent of the Development to "Protect-in-Place" the existing Transmission Gas Mains. Electrical Service

Imperial Irrigation District's - Energy Division (IID) provides electric service to the area around the Coachella Site through IID's 92kV sub transmission and 33kv/12.5kv/7.2kv distribution systems. IID is the third largest public power provider in California. IID provides electric service to more than 140,000 customers in Imperial County and parts of Riverside County and the City of Coachella.

IID's has existing 12.5kV and 7.2kV overhead pole lines that are located adjacent to the project as follows: 12.5kv and 7.2kv on the south end of Polk Street which runs south of Landfill Road - 7.2kv on Vista Del Norte running easterly from Dillon Road to just westerly of the water channel - 7.2kv at a point north of the I-10 Freeway crossing Vista Del Sur approximately 2800' easterly of Tyler.

IID will need two new distribution circuits within the KPC Coachella Project for the expansions of IID's electric system. Based on anticipated Development in the northern region of Coachella, it is not anticipated that a Substation will be required. However, if the schedule for the KPC Development pre-dates the anticipated developments on the south side of the Freeway, IID may require that a Substation be constructed within the KPC Project. It is anticipated that IID's transmission/distribution lines will primarily be constructed on overhead poles to the edge of the Project with circuitry within the project being installed underground.

In addition to the installation of IID's new facilities to serve the KPC Development, it is anticipated that IID will need to relocate or rearrange portions of IID's existing transmission/distribution lines, depending on IID circuit load projections and anticipated line capacity growth. IID will also need to relocate or rearrange some of IID's existing overhead 12.5kV lines and integrate those existing facilities with the new onsite electric distribution facilities.

There are three (3) High-Voltage Transmission lines consisting of 500kva, 220kva, and 69kva circuits in different alignments adjacent to the Project site. Each of the Transmission lines convey power from points of origin to the City of Los Angeles, City of San Diego, and the Cities within the Palm Springs

basin area. Currently, IID has no plans to connect to any of these lines for a substation within the Project Area.

#### ***Frontier Communications (Vz)***

Frontier Communications operates both Copper and Fiber facilities and are responsible for providing communications facilities to the Project Area. At the time of writing this Specific Plan, Frontier Communications announced doubling their fiber coverage. They do have the capability to provide Fiber services, to include Phone, Video and Data/Internet.

Frontier has existing Fiber facilities on the north side of Vista Del Norte at the subdivision westerly of the water channel. Frontier will upsize and upgrade their existing Fiber facilities at that location and will provide full Fiber Services to the Project Area from that point. We anticipate a minimum of five (5) Fiber Node locations within the Project Area that will be served by Frontier as the Project develops.

#### ***Charter-Spectrum Communications***

Charter Communications operates both Coaxial and Fiber facilities and are responsible for providing communications facilities to the Project Area. They do have the capability to provide Fiber services to include Phone, Video, and Data/Internet.

Charter-Spectrum has existing Fiber facilities on the north side of Vista Del Norte at the subdivision westerly of the water channel. Charter will upsize and upgrade their existing Fiber facilities at that location and will provide full Fiber Services to the Project Area from that point. We anticipate a minimum of five (5) Fiber Node locations within the Project Area that will be served by Charter-Spectrum as the Project develops.

### **2.7.5 Public Services**

#### ***Solid Waste***

Burrtec Waste Industries currently provides solid waste disposal, green waste, and recycling services to residents within the City of Coachella. It is anticipated that Burrtec will also provide solid waste disposal service to the residents of the Specific Plan Area. Solid waste is typically disposed of at a variety of landfills, including the Badlands Sanitary Landfill.

It is anticipated that solid waste generated from residents in the Specific Plan will also be disposed of at these landfills. Materials efficiency and use of recycled materials within the project is discussed in Section 2.3, Sustainability Strategies, of this Specific Plan.

#### ***Police Services***

The Riverside County Sheriff's Department is contracted to provide law enforcement services through the Coachella Police Department. Currently, the Riverside County Thermal Sheriff Station serves the City of Coachella. The station is located on Carreon Boulevard in Indio. The Coachella Police Department Contract consists of 32 sworn officer positions. Nineteen (19) of these positions are dedicated to the patrol division with the remaining officers dedicated to special assignments such as the Community Action Team. Police service calls will incrementally increase as a result of the potential development of the Specific Plan area.

#### ***Fire Services***

The City of Coachella has established a Fire Protection District with the City Manager acting as Manager of the District. Fire protection and suppression services are provided through a contract with



the Riverside County Fire Department. These services include fire suppression, fire prevention, emergency medical response, hazardous materials response team, urban search and rescue response team and other related fire protection and emergency services. The Fire Department maintains a fire station within the City of Coachella.

Station 79, located at 1377 Sixth Street, is the primary station that will serve the Specific Plan Area. The Coachella Fire Station is staffed by 10 full-time career personnel, 1 reserve firefighter and 10 Explorer cadets. The station also has 1 City Paramedic and an Assessment Engine. Two other stations are close to Coachella, including Station No. 39 located at the Thermal Airport and Station No. 86 located at Jackson and 47th Street in Indio.

Areas within a mile radius of the station have a response time of two minutes; areas within a 2 to 5-mile radius have a response time of 3 to 5 minutes. Fire service calls will incrementally increase as a result of the future development of the Specific Plan area. A fire station will be required to serve the KPC Coachella community, with the location to be associated with one of the mixed-use planning areas. The location and size of the fire station parcel will be determined by the Fire Department as part of the first implementing projects within the Specific Plan area.

### ***School Facilities***

The Specific Plan area is located within two school districts: The Desert Sands Unified School District (DSUSD) and Coachella Valley Unified School District (CVUSD). The districts currently charge Developer fees on per-square-foot basis for new residential and commercial development.

The Specific Plan identifies three elementary school and one middle school sites. If the District(s) do not take the school site(s) upon project build-out or upon written communication from the School District that school site is not needed, the school sites will revert to an underlying low density residential land use.

School site location is dictated by both practice and law. Minimum highway setbacks from schools are not established by law. However, experience and practice indicate that distances of at least 2,500 feet are advisable when explosives are carried and at least 1,500 feet when gasoline, diesel, propane, chlorine, oxygen, pesticides, and other combustible or poisonous gases are transported. In the absence of specific, legally defined setback distances for schools, the Department reviews each case individually. The nearest freeway to the school sites is I-10, and the proposed school sites have been placed accordingly.

The California Department of Education Code Section 17212.5 states that “no school building shall be constructed, reconstructed, or relocated on the trace of a geological fault along which surface rupture can be reasonably expected to occur within the life of the school building.” The project school sites have been located in accordance with this criterion.

The Specific Plan also includes an overlay for a potential institution of higher learning. Potential uses include a public or private community college, medical, dental, optometry, or chiropractic college, or other similar educational facility.

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A row of tall palm trees stands on a green lawn. In the background, there are mountains under a clear blue sky. A dark blue rectangular box is overlaid on the right side of the image, containing the section title.

# **SECTION 3**

## Development Regulations



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The purpose of this section is to provide land use development standards that apply to each of the land use designations. These include standards regarding permitted uses, building height limits, parking requirements, and setbacks.

These development standards should be used in conjunction with Chapter 4: *Design Guidelines*, which describe and illustrate building designs, concepts, and features that will promote the high-quality development that is envisioned for the Specific Plan area.

Where development standards are not described, the standards as described in the City of Coachella Zoning Ordinance shall apply.

## 3.1 General Provisions

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to utilize Specific Plans for purposes of implementing the goals and policies of the City's General Plan.

This Specific Plan establishes regulations, standards, guidelines, and processes for the proposed development, and upon adoption, shall constitute the zoning for development within the Specific Plan area.

This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Coachella Zoning Ordinance (Title 17 of the Coachella Municipal Code). Regulations are proposed for residential, commercial, Resort, park, and institutional uses. Individual development areas are defined by density, lot size and planning area and have been included in accordance with the goals and objectives of this document.

Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community.

The following General Development Standards apply to all uses within the Specific Plan, except those governed by the Tribal Council in the event that a casino is proposed as an implementing project.

### 3.1.1 Applicability

The KPC Coachella Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan. Upon adoption, actions deemed to be consistent with the Specific Plan shall be judged to be consistent with the City of Coachella General Plan.

Where conflicts exist between the standards contained in this Specific Plan and those found in the City of Coachella Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of Coachella Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

### ***Tribal Land***

In the event that a casino is proposed as an implementing project within the Entertainment District, upon taking the Tribal property into Trust, the land use implementation of the Trust property would become the responsibility of the Tribal Council.

#### **3.1.2 Severability**

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

#### **3.1.3 Determination of Unlisted Use**

Any land use proposal not specifically covered by the provisions contained herein shall be subject to determination by the Development Services Department, its Director or their designee in accordance with Section 17.02 of the City of Coachella Zoning Ordinance.

#### **3.1.4 Interpretation**

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the Coachella Municipal and Zoning Codes, except where specifically provided in this Specific Plan. Whenever the provisions contained in this Specific Plan conflict with the Municipal or Zoning Codes, the provisions of this Specific Plan shall take precedence. Any ambiguity concerning the content or application of the Specific Plan shall be resolved by the City's Development Services Department, its Director or their designee. Such interpretations shall take into account the stated goals and intent of this Specific Plan. If requested, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

### ***Modifications to Development Standards***

Development standards may be modified by up to 20% in connection with Development Review in order to promote increased pedestrian activity, provide for unified street frontage, ensure privacy and light for residential uses, provide for public spaces, or promote compatibility with existing development and the goals of the Specific Plan.

#### **3.1.5 Definitions**

Unless otherwise specified below, terms used in this document shall have the same definitions provided in the City of Coachella Zoning Ordinance Chapter 17.06, "Definitions." The following definitions shall apply to the uses and standards within this Specific Plan:

1. "Alley-Loaded." Access to a structure or lot is made from an alley rather than a street.
2. "Common Open Space" areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, pickleball courts, basketball courts, tot lots and playgrounds, bocce ball courts, outdoor cooking areas, lawn bowling, and other similar recreational facilities.



3. "Continuum of Care." Any facility, place, or building that is maintained and operated to provide for a range of senior care, including independent living, assisted living, congregate care, and convalescent/skilled nursing care. Where/when provided, the development standards required by the California Department of Social Services, Community Care Licensing Division (2013), will apply.
4. "Live/Work." A live/work unit is defined as a single residential unit (e.g., studio, loft, or one bedroom) consisting of both a commercial/office and a residential component that is occupied by the same resident. The live/work unit shall be the primary dwelling of the occupant.
5. "Mixed Use." A mixed-use development is a development with planned integration of two or more primary uses in a single development project. Uses may be a combination of retail, office, residential, hotel, or other permitted uses. Uses may be arranged in separate structures throughout a development site (horizontal mixed use) or within a single structure (vertical mixed use).
6. "Neighborhood." Neighborhoods are a further subdivision of land within each Planning Area. Often this is set by future builders or developers depending on the types of product they intend to build. Individual neighborhoods do not have a set number of units and are not shown at the Specific Plan level.
7. "Planning Area." Planning Areas are subdivisions of land for specific purposes within each Specific Plan Village. Each Planning Area has a land use and defined development capacities.
8. "Village." Villages refer to the five distinct areas within the project area as shown on the conceptual land use plan and described in section 2.2 of the KPC Coachella Specific Plan document. These villages have unique development qualities that set the character and purpose of each area.
9. 6. "Wellness University Overlay." The Wellness University Overlay works in conjunction with underlying zoning to address the unique development issues associated with the potential for a University in the subject planning area.

### 3.1.6 Boundaries

The boundaries and acreage of the individual planning areas are approximate. Precise boundaries and acreages will be established in conjunction with the subdivision map for each planning area or portions thereof within the project. Minor boundary and acreage variations shall be permitted, subject to review by the Development Services Director or their designee for conformance with the intent of the Specific Plan, without an amendment to this Specific Plan. Section 5, *Administration and Implementation*, of this Specific Plan includes a listing of minor modifications and criteria for required amendments to the Specific Plan.

### 3.1.7 Location and Adjustment of Land Use Designations

The locations of the land use designations shown on the land use plan are approximate and generally follow streets. Adjustments to any of the land use designation boundaries are subject to review and approval by the Development Services Department, its Director or their designee and any such requests for adjustment must be made in conjunction with the submittal of a land use application.

Zoning for properties that are adjacent to a street extend to the centerline of the abutting street. No buildable lot shall be divided by a special district boundary line.

Minor changes in boundary alignment and location are permissible with approval by the Development Services Department, its Director or their designee. However, the intended character and overall location of the land use designations must be maintained. For example, adjusting a boundary to conform to a precise street alignment instead of a conceptual location would be a logical interpretation of this plan's intent.

### **3.1.8 Senior/Age Qualified Communities**

Senior and age-qualified projects (including “continuum of care” communities that include a full range of independent living through skilled nursing) are specifically conditionally allowed within the Specific Plan in all planning areas per permitted uses tables (see Table 3-1). Such projects may include additional or different park facilities from that shown in the Specific Plan in keeping with the project's demographics; such changes shall be delineated in a site plan submittal concurrent with a subdivision map or site plan for the development. Senior/Age Qualified uses may include the following, generally consistent with the provisions of the Senior Housing Overlay:

- **Active Retirement Community.** A project in this category is specifically designed with the senior resident in mind and provides appropriate amenities and designs to accommodate the active senior lifestyle. Typical residents are healthy, active, and completely capable of independent living. Projects provide a common amenity package in return for smaller lots, unit sizes and other design incentives. Amenity packages may include a clubhouse, sport facilities, cultural facilities, and/or arts and crafts activity areas. Dwelling unit types may be single-family, attached or detached, or multiple-family attached including apartments, condominiums and townhomes.
- **Independent Living Units.** A project designed for the senior resident who needs specialized services and amenities to accommodate their special needs and prolong their ability to live independently. Such services may include meal preparation, common dining facilities, emergency call monitoring, housekeeping services, shuttle services, and delivery of groceries and pharmaceuticals. The project includes specially designed units and grounds to accommodate reduced mobility, sight, and hearing problems. Services to support the care of an ailing spouse such as adult day care services, limited nursing services may also be provided. Unit types may range from single-family detached to multiple-family clustered buildings.
- **Congregate Housing Community.** A project in this category is designed for the senior resident who needs significant care and services including nursing care and medical services. Unit types may include smaller apartments with small kitchenettes, but also common dining facilities and community activity centers. Specific services may include security, activity centers, housekeeping, emergency monitoring and transportation.

### **3.1.9 Gated Communities**

Gated communities are permitted within the Specific Plan area subject to site plan/architectural review of the location, design, and rationale for such gating. Details of gate design must be included in the site plan submittal for any project which includes a gate and must include adequate stacking distance to avoid backups onto surrounding collectors, adequate turn-around provisions, and adequate emergency access provisions. Gating is assumed, but not required, for the active adult planning areas of the Specific Plan (Village D).

### 3.1.10 Design Guidelines

Residential, commercial, and resort development shall be designed and built-in substantial conformance with the Design Guidelines contained in this document (Refer to Section 4.0, *Design Guidelines*). More detailed privately managed Level Two Design Guidelines may be prepared by the Master Developer to provide specific details regarding site plan design, architecture, and landscaping to guide individual builder submittals, subject to review and administration by the Master Developer. If prepared, these builder-level guidelines would be consistent with the guidelines herein but would be administered privately.

## 3.2 General Site Development Criteria

The following general site development criteria shall apply to all land development within the Specific Plan area.

### 3.2.1 Gross Acreage

Except as otherwise indicated, planning area acreages and densities are based upon gross acreages, which include the area for internal local streets and internal parks and open spaces.

### 3.2.2 Grading

Development within the project site shall utilize grading techniques as approved by the City of Coachella and based on the grading standards attached to this document as Appendix B, *Grading Standards*. All grading activity pursuant to this section shall be subject to a grading permit issued by the City.

### 3.2.3 Subsequent Building Modification

Subsequent building modification by homeowners, including additions and/or projections into setback areas permitted by the Specific Plan (subject to approval of standard city permits), shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit and/or in context with the overall Design Guidelines.

### 3.2.4 Utilities

All new public utility distribution lines of less than 69kv shall be placed underground throughout the Specific Plan area. Water, reclaimed water, sewer, and storm drain utilities may be designated as “public utilities” if located within public streets. Public utilities within private streets shall be designed to city/agency standards and contained within applicable easements.

### 3.2.5 Development Intensity

The KPC Coachella Specific Plan allocates a total number of dwelling units to each Planning Area and by residential category as indicated in Tables 2-1 through 2-3, included in Section 2, *Development Plan*. Variations in the number and type of dwelling units within each residential planning area may occur at the time of final design depending upon the residential project identified for development (i.e., multiple product types and densities may occur within a single planning area, with overall density averaged over the entire planning area. Increases in allocation of residential units up to a maximum of 15% are permitted among the residential planning areas within the Specific Plan provided the total number of



units established in this Specific Plan is not exceeded unless a density bonus is applied under the provisions of Coachella code section 17.88 or new State of California provisions for density bonus which may apply.

Village B is intended to have the highest residential and non-residential intensities within the Specific Plan, especially for the planning area identified as the Entertainment District and its adjacent high density residential area (Planning Areas B2 and B3). See specific provisions in the development standards below.

Provisions for transfer of residential units between planning areas are outlined in Section 5, *Administration and Implementation*, of this Specific Plan.

The mix and ultimate intensity of the commercial components within the commercial planning areas of the Specific Plan are governed by the permitted uses, floor area ratios, and setbacks outlined in these Development Regulations.

### **3.2.6 Walls and Fences**

#### ***Fence Heights – Residential Uses***

Fences on lots with a single or attached one-family dwelling in any planning area shall conform to the development regulations established in the zoning code section 17.60 except as provided in this section.

- Within front yard setback: 36 inches maximum
- Within side or rear yard setback or along/behind corner lot size yard setback: 6 feet maximum
- Fences that exceed the height requirement in the municipal code require a variance, unless the height is required by a federal, state, or local requirement or for mitigation purposes.
- Fence height shall be measured from existing grade. When the difference in grade along a common property line exceeds two feet, any fence along the common property line shall not exceed more than six feet in height.
- Arbors, trellises, and other lightweight ornamental landscape elements are allowed within a required yard with a maximum height of 9 feet.
- Where fences or walls are located on retaining walls, the height of the retaining wall shall be considered as part of the overall height of the fence or wall. Walls or fences with a minimum spacing of five feet may be considered separate structures for purposes of measuring overall height. In a rear yard condition adjacent to a natural or manufactured slope the fences as measured from the uphill side may be erected or replaced on top of the retaining walls and the combined fence and retaining wall height shall not exceed nine feet from the lower side.

#### ***Posts and Gates***

Support posts or columns, not exceeding 4 feet in height and 18 inches in width, and gates used for pedestrian purposes are permitted in the front yard. Wall columns or pilasters may exceed the height of the wall or fence by up to 6 inches.

#### ***Prohibited Fences***

The following materials and fence types are prohibited from use on any parcel of property in the Specific Plan area that is used for residential purposes:

- Barbed wire
- Razor wire
- Electric fences
- Other sharp materials

### 3.2.7 Interim and Temporary Uses

The following interim uses may be permitted in any planning area ultimately planned for development uses prior to its entitlement for its primary permitted use. Interim uses are not permitted in areas proposed as open space.

1. The growing of field crops, trees, vegetables, fruits, berries and nursery stock, including wholesaling of crops produced upon the premises subject to approval of a conditional use permit.
2. Stockpiling of soil for use in subsequent phases as part of a grading permit approval.
3. Festivals, including music festivals, or fairs subject to approval of a special use permit.
4. Construction staging, including materials storage lots for construction projects, temporary parking, and construction trailers, subject to administrative approval of a Construction Management Plan.
5. Farmers Markets subject to approval of a Special Event Permit.
6. Christmas tree lots, pumpkin patches and similar seasonal uses subject to the provisions of Section 17.48.120 of the Zoning Code.
7. Temporary parking lots pursuant to Section 17.48.100 of the Zoning Code.
8. Project information Centers/Sales Centers/Model Complex, subject to administrative review of a building permit and agreement letter.

## 3.3 Residential Uses

The development standards and product types included herein are intended to establish the minimum design parameters. A mix of building types shall be incorporated into planning areas to avoid a monotonous neighborhood. The City may allow different standards and product types proposed by a builder during architectural review of a Specific Development Plan and/or Tentative Map, provided that such alternative standards and product types are consistent with the intent of the Specific Plan.

There are 5 classifications of residential development in the project area:

- Very Low-Density Residential (VLDR): The density is 1 du/ac.
- Low-Density Residential (LDR): The density is 5 du/ac.
- Medium Density Residential (MDR): The density is 10 du/ac.
- High-Density Residential (HDR): The density is 25 du/ac.
- Mixed Use Residential (MU) Residential: The density is 25 du/ac.

Proposed product types are described below, although at the time of site plan/architectural review additional housing types may be proposed. Innovative product types are encouraged.

- Single Family detached are single homes on individual lots, which may be front- or alley-loaded.
- Duplex lots are two (2) single-family attached homes with primary entries and walks facing the street or community paseos. Private outdoor living space can occur in front, rear and/or side yards. Automobile access is via street or alley. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways, on local streets or in designated parking areas. This product type functions like a single-family unit.
- Row townhomes are single-family attached homes with primary entries facing street or common open space. The units have private outdoor living space. Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.
- Motor court cluster units are single-family detached or attached dwellings clustered around a motor court or paseo. Primary entries and walks face either the motor court, paseo or the street. Private outdoor living space can occur inside and rear yards. Automobile access is via private motor courts or street. Resident parking spaces are provided in garages and guest parking spaces provided on private lanes, public or private local streets or designated on-site parking spaces.
- Multi-Family flats are attached multi-family homes with entries from common open space. Automobile access is via an alley or private drive. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas.
- Alternative Housing. Housing types that encourage family living are encouraged within the Specific Plan. These include allowing for accessory dwelling units in accordance with State law; guest houses on larger lots in Low-Density Planning Areas; and multigenerational housing types which may include multiple master suites and kitchen areas as well as additional entries.

Residential Product Type Allocation						
Type	VLDR	LDR	MDR	HDR	MU	EC
Single Family Detached	X	X	X			
Single Family Alley loaded	X	X	X			
Detached Motor Court/Cluster			X	X		
Townhome			X	X	X	
Attached Motor Court Cluster			X	X	X	
Multi-Family Flats			X	X	X	X
Flats over Commercial					X	X



### 3.3.1 Projections into Required Yards

The following encroachments into required yards shall be permitted in residential planning areas:

1. For Low-Density Residential uses, porches are strongly encouraged. Where provided, porches shall have a minimum size/dimension of 8 x 10 feet. Porches may encroach up to six feet into the front yard/setback.
2. Outside stairways, porches, or landing places, if unroofed and unenclosed, may extend into a required side yard for a distance not to exceed three feet or into the required rear yard a distance not to exceed five feet.
3. Cornices, canopies, eaves, fireplaces, bay windows, or other similar architectural features not providing additional floor space within the building may project two (2) feet into any required setback.
4. One pergola or one covered but unenclosed landing may extend into either side yard, provided that its other horizontal dimension shall not exceed 20 feet.
5. Attached patio covers and trellises or combination thereof may extend into half of the required rear yard setback and not less than five (5) feet from the rear property line or rear wall or fence.

### 3.3.2 Residential Uses

Permitted uses in the residential planning areas are identified in Table 3-1, *Permitted Uses, Residential Planning Areas*.

TABLE 3-1: PERMITTED USES, RESIDENTIAL PLANNING AREAS				
P – Permitted C- Conditional Use Permit X-Not permitted A – Accessory Use				
USE	VLDR	LDR	MDR	HDR
Single-family detached residences in a permanent location with a permanent foundation (front or rear/alley-loaded) on an individual lot	P	P	P	P
Detached motor court clusters	X	X	P	P
Duplexes or Multigenerational Housing	X	P	P	X
Attached housing, including Townhomes/Rowhouses/Attached Motor Court Cluster Units	X	X	P	P
Multifamily Flats	X	X	P	P
Live/Work Units in accordance with section 3.X herein	X	C	C	X
Active Retirement Community, Independent Living Units, Congregate Housing, Assisted living facility/residential care facility	C	C	C	C
Accessory structures appurtenant to the permitted use (gazebos, sheds, guest house, swimming pools/spas)	A	P	P	P
Accessory structures – private lighted tennis courts and similar uses	C	C	X	X
Public or private parks and playgrounds or community/recreation centers.	P	P	P	P
Animal keeping in accordance with the provisions of the zoning code.	P	P	P	P
Home occupations/Home office in accordance with Section 17.58 of the zoning code	A	A	A	A

**TABLE 3-1: PERMITTED USES, RESIDENTIAL PLANNING AREAS**

P – Permitted C- Conditional Use Permit X-Not permitted A – Accessory Use

USE	VLDR	LDR	MDR	HDR
Family day care homes as defined in the zoning code.	P	P	P	X
Commercial child daycare and pre-school as defined in the zoning code.	C	C	A	A
Licensed Daycare Centers (5 or fewer children) in accordance with the zoning code.	P	P	P	P
Adult Daycare or day healthcare	C	C	C	C
Private and quasi-public uses of an educational or religious type, including public and parochial elementary schools, junior high schools, high schools and colleges, nursery schools, licensed daycare facilities for more than five children, churches, parsonages and other religious institutions	C	C	C	C
Accessory Units in accordance with applicable State law	P	P	P	X
Public Safety Facilities	C	P	P	P
Wireless telecommunications facilities (stealth), in conjunction with a non-residential use Chapter 17.68 of the zoning code	P	P	P	P
Utilities including water quality basins, pump stations, utility vaults, etc.	P	P	P	P
Electric vehicle charging station, solar energy systems (non-commercial)	P	P	P	P
Non-commercial wind energy systems	C	C	C	C
Parks, Open Space, Conservation	P	P	P	P
Sign in accordance with Section 17.56.010 of the CMC	P	P	P	P
Mobile Homes	X	X	X	X
Home schools	A	A	A	A

**TABLE 3-2: DEVELOPMENT STANDARDS, RESIDENTIAL PLANNING AREAS**

Item	Dimension (see following pages)	VLDR	LDR	MDR		HDR
				Detached	Attached	
Density Range	--	1.0	5.0	10.0		25.0
Minimum Lot Size	--	10,000 sf	4,500 sf	2,000 sf		--
Maximum Building Coverage	--	60%	55%	65%		65%
Percent Landscape	--	--	--	15%		15%
Private Open Space per unit (minimum dimension: 5 ft)	--	--	--	80 sf/du	80 sf/du	60 sf/du
Common Open Space per unit (includes paseos, amenity centers, landscape areas)	--	--	--	100 sf/du	100 sf/du	150 sf/du
Storage Area per unit	--	--	--	--	50 cf/du	50cf/du
Lot Width (min)						
Interior	A	80 ft	45 ft	35 ft	--	--

**TABLE 3-2: DEVELOPMENT STANDARDS, RESIDENTIAL PLANNING AREAS**

Item	Dimension (see following pages)	VLDR	LDR	MDR		HDR
				Detached	Attached	
Frontage (Cul-de-sac/knuckle)	--	35 ft	35ft	--	--	--
Lot Depth	B	110 ft	90 ft	55 ft	--	--
Building Setbacks						
Living Space from public Street	C	20 ft	10 ft	10 ft	10 ft	10 ft
Living Space from motor court or private drive/alley	E	--	--	5 ft	5 ft	5 ft
Porch from Public Street	D	5 foot encroachment into setback permitted				
Garage Setback to public street (front entry)	F	20 ft	18 ft	18 ft	18 ft	--
Garage Setback to public street (Side entry)	F	15 ft	10 ft	15 ft	15 ft	--
Garage Setback to alley/private drive/motor court	G	5 ft	5 ft	5 or 18 ft	5 ft	5 ft
Side Yard						
Interior	H	5 ft	5 ft	5 ft	10 ft	10 ft
Corner	I	15 ft	10 ft	10 ft	10 ft	10 ft
Porch	J	5 foot encroachment into setback permitted				
Rear Yard (minimum)	K	20 ft	15 ft	10 ft	10 ft	10 ft
Porch, balcony, or Deck		5 foot encroachment into setback permitted				
Building Height (maximum) <sup>1</sup>	--	35 ft	35 ft	35 ft	35 ft	55 ft <sup>2</sup>
Accessory Structure Height	--	15 ft	15 ft	--	--	15 ft
Building Separation	L	10 ft	10 ft	10 ft	20 ft	20 ft
Alley Condition	M	30 ft	30 ft	30 ft	--	--
Motor Court or Private Drive - garage to garage	N	--	--	30 ft	30 ft	30 ft
Paseo/Green Court	O	--	--	20 ft	20 ft	--
Solar Provision	--	Code	Code	Code	Code	Code
Parking	--	See Table 3-6 below				

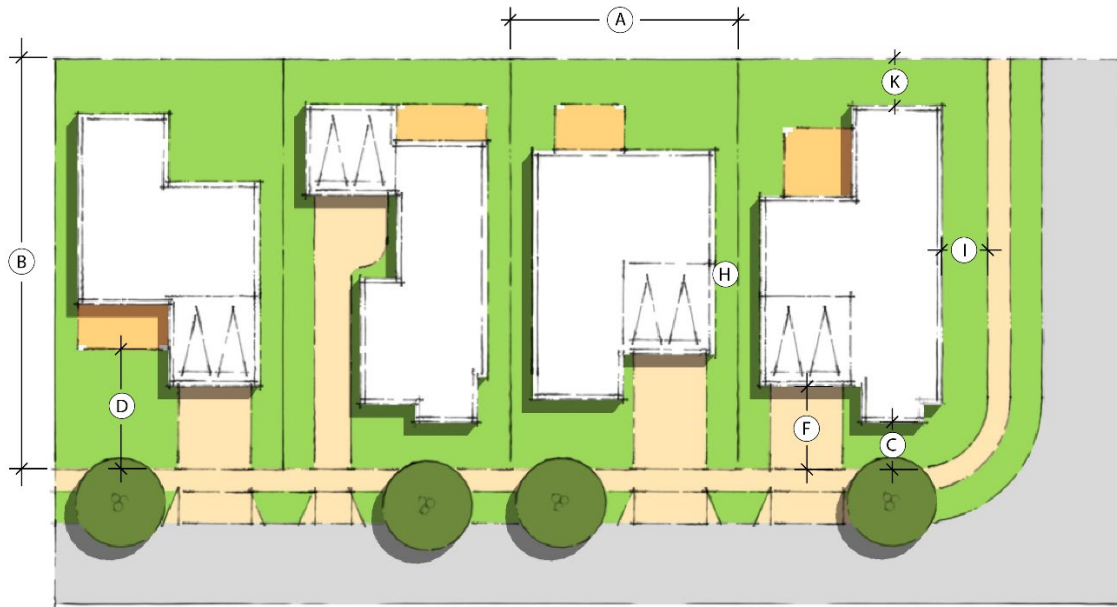
## Notes:

1. Height projections for chimneys or other architectural features for single family products: 6 feet, for High Density uses projects
2. There is no height restriction for residential structures within Planning Area B-3, subject to the City's design review process.

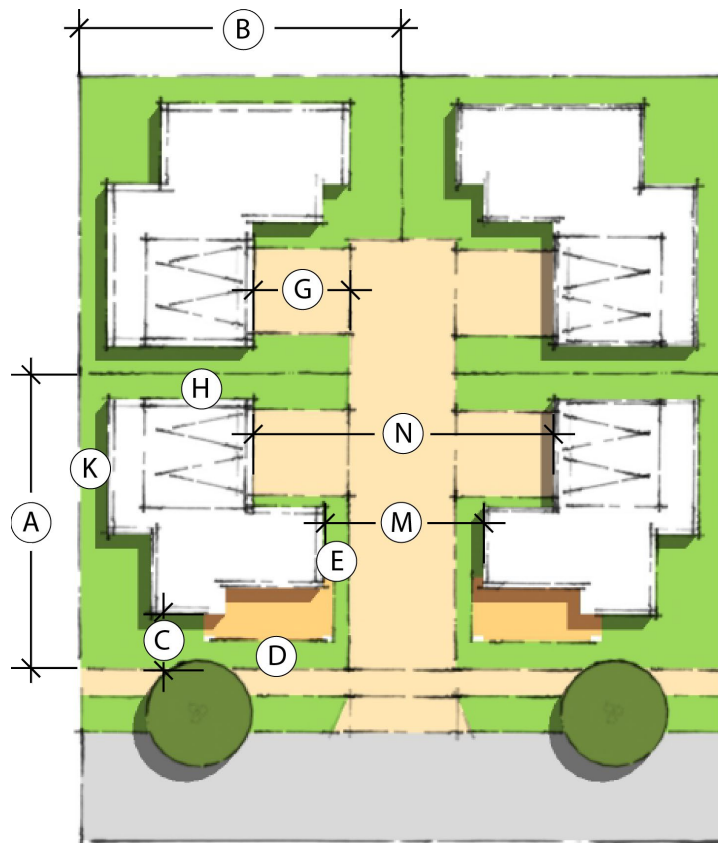


## Dimensions

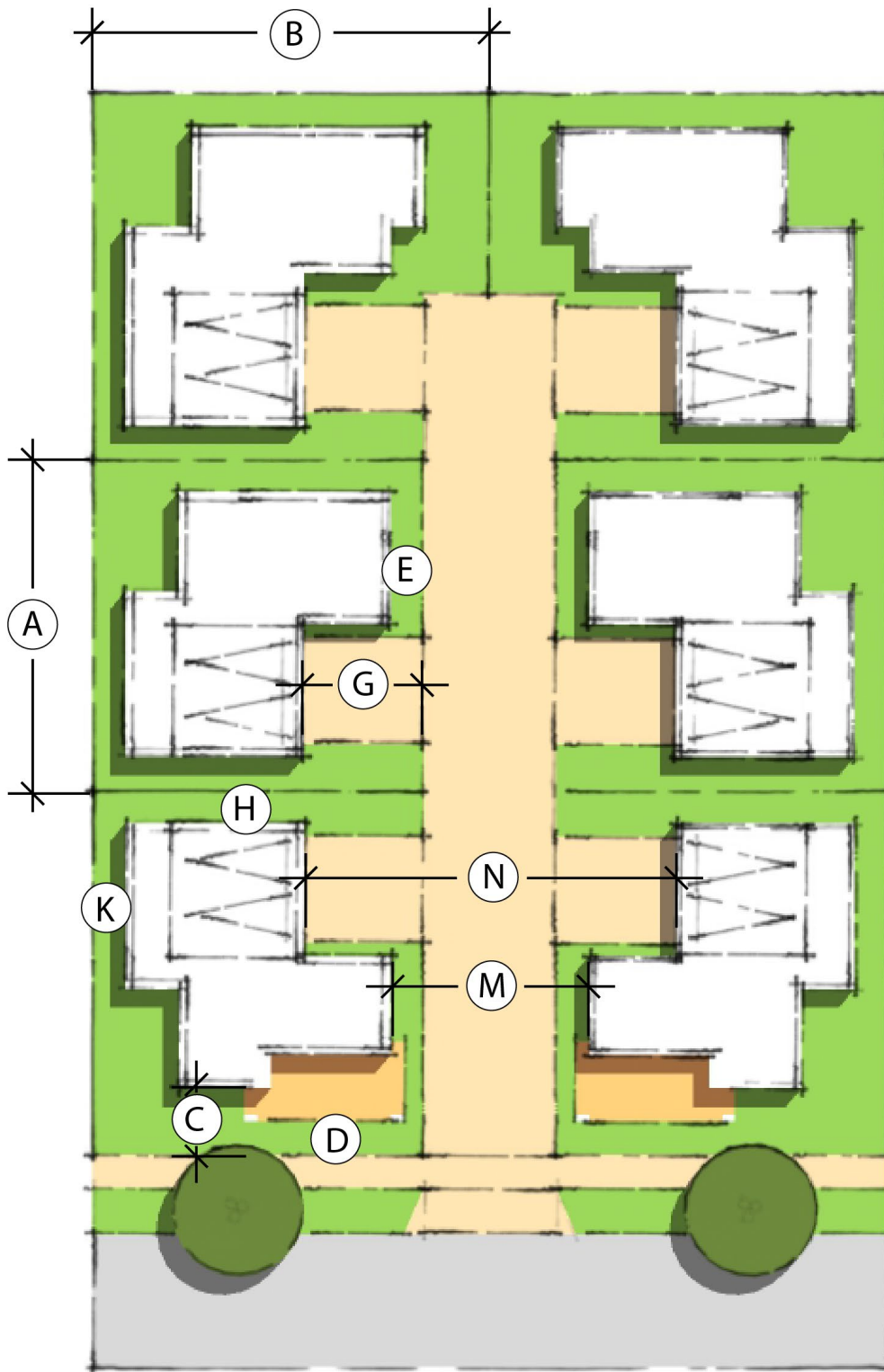
Below are example residential product examples with typical dimensions as referenced in Table 3-2, *Development Standards, Residential Planning Areas*. Note that these illustrations are for conceptual planning purposes only. Actual lot dimensions and product types may vary, and these illustrations are not intended to limit or preclude the use of new or different product types in each density category.



**SETBACK DIAGRAM – SINGLE-FAMILY DETACHED**

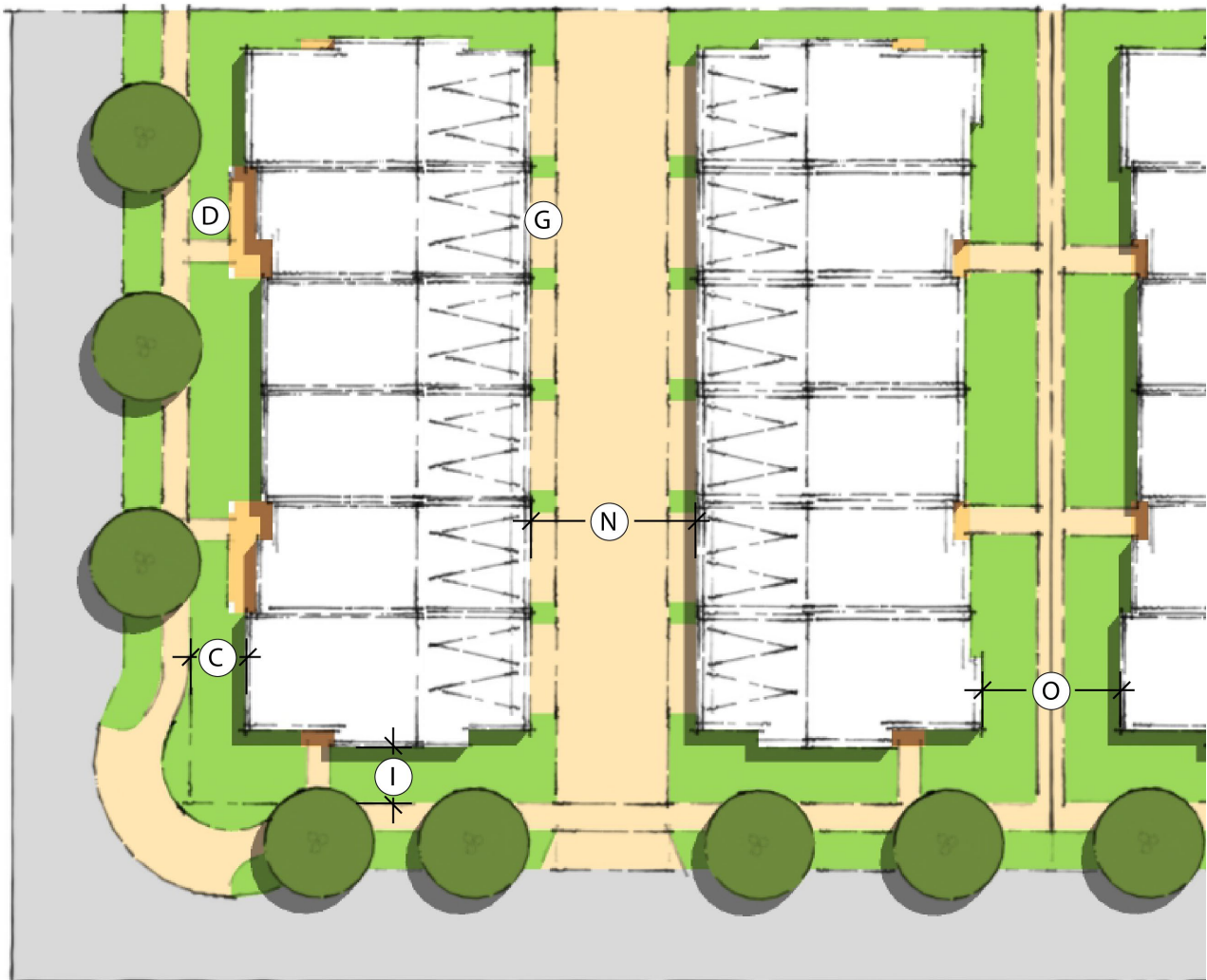


**SETBACK DIAGRAM – DETACHED MOTOR COURT (4-PACK)**

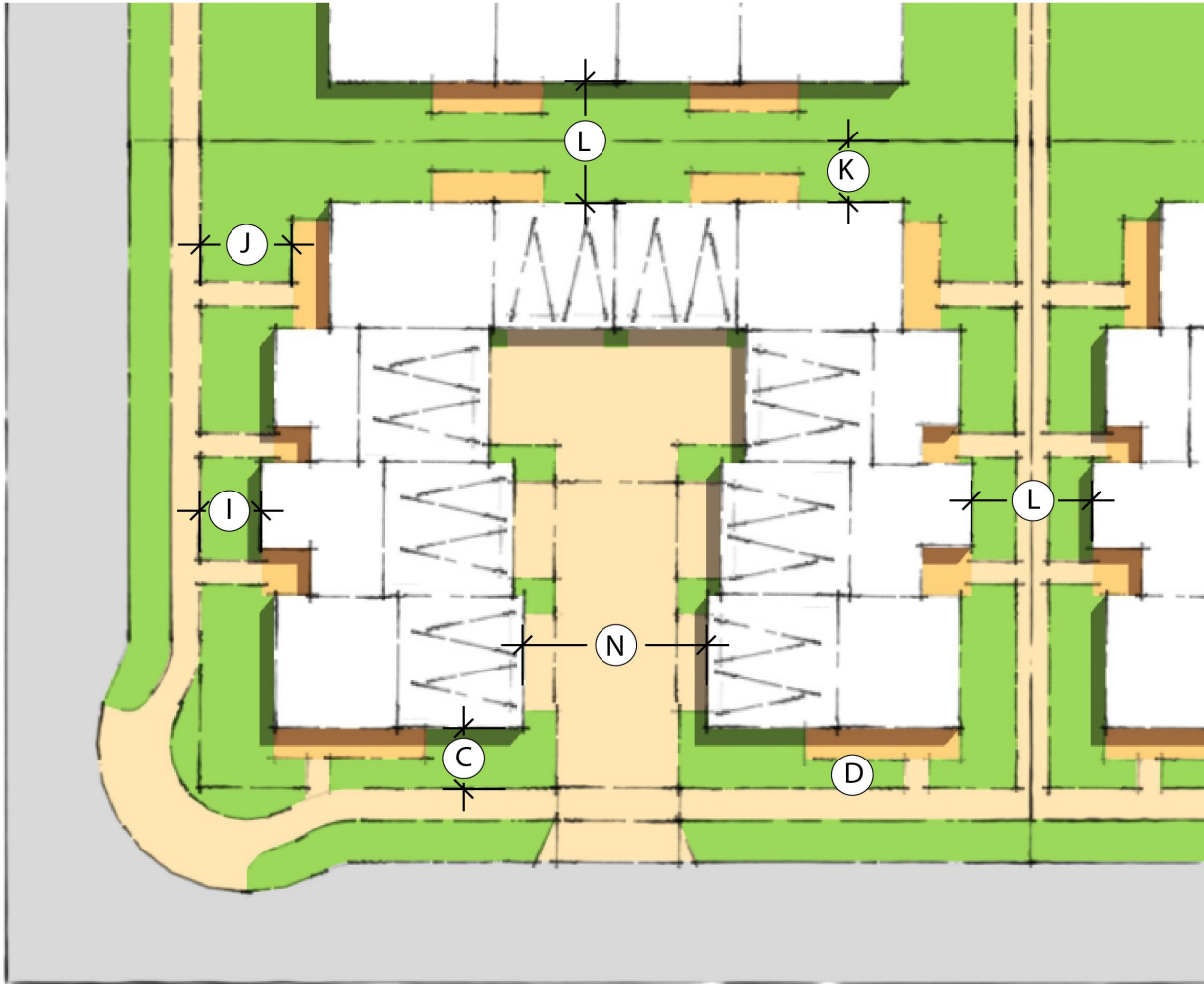


**SETBACK DIAGRAM – DETACHED MOTOR COURT (6-PACK)**





**SETBACK DIAGRAM – ATTACHED TOWNHOUSE**



**SETBACK DIAGRAM – ATTACHED MOTOR COURT**

### 3.3.3 Special Provisions for Residential Uses

#### *Live/Work*

“Live/Work” is a mixed-use building type that is designed to accommodate non-residential work areas in addition to, or combined with, living quarters. The residential and commercial spaces are clearly identified and separated, and all uses are in compliance with applicable government codes. Live/Work units, although suitable for home occupation uses, have specialized workspaces that can accommodate more intensive work activities than would be appropriate for an exclusive residential building. Live/Work opportunities shall be limited to Medium and High-Density Residential planning areas, in addition to the Mixed Use areas of the Specific Plan and may develop in one of two scenarios: 1) live/work may be included in a vertical mixed-use setting with residential units located over retail/commercial/office; or 2) live/work may also occur in multi-family live/work buildings such as townhomes and lofts, and would be a stand-alone multi-family workspace. A maximum of 2 employees are assumed for a live/work product. Refer to Section 3.4 of this chapter for performance standards related to Live/Work uses.

## 3.4 Commercial Development Standards

The Commercial designation provides for a variety of land uses such as retail commercial, entertainment, civic, senior continuum of care/assisted living, medical office, and office. These uses can be distributed vertically and horizontally. The Commercial land use provides locations for businesses that meet the day-to-day shopping and service needs of the residential uses. Commercial uses are typically anchored by a grocery store but may also provide an array of retail and service commercial uses. The commercial areas of the plan include Mixed Use (MU), and Entertainment Center (EC) uses. The Mixed Use areas are distributed throughout the Specific Plan area, providing commercial and support uses to each neighborhood. The largest of these is anticipated to include more intense uses adjacent to Avenue 50, with higher intensity retail and medical campus uses. The Entertainment Center area (Planning Area B-2) is located in the most intense Neighborhood B. Table 3-3, *Permitted Uses, Non-Residential Planning Areas*, identifies the permitted and conditional uses within these two land uses.

**Senior-Oriented Commercial.** Approximately 36,000 square feet of Commercial/Office is proposed on approximately 5 acres (Planning Area D-8) as part of a proposed active adult community in Village D. Uses will be primarily small-scale retail, food service, medical, and professional services meant to serve the daily convenience needs of the project's residents, however expanded commercial uses are also allowed in these planning areas. Such uses could include skilled nursing, assisted living, convalescent care and other similar uses in support of the active adult component of the plan.

### 3.4.1 General Commercial Standards:

- Main or multistory structures shall be located on the site in such a way as to facilitate internal circulation and to minimize visual impacts on adjacent residential units.
- All main or multistory buildings should generally be oriented to the interior of the site rather than to existing perimeter streets. Where possible, primary access to the buildings and parking areas shall be through an interior street circulation system.
- Principal activity areas, including but not limited to the primary entrances to buildings, shall be oriented away from existing residential uses with more passive activities such as plazas/gathering spaces being located nearer to those residential uses.
- Open and landscaped areas shall be provided around buildings and shall be employed to highlight primary entrances. A minimum of one plaza/gathering space shall be provided in each commercial center.
- Parking areas shall be located to provide efficient and convenient access to uses and to contribute to an overall circulation pattern.
- A landscaped area not less than fifteen (15) feet wide shall be maintained along any property line to the extent it abuts a street, except at approved driveways.
- Parking lot landscaping shall be provided, with a parking lot tree ratio of one tree for every six (6) parking spaces.

### *Patio Dining*

Outdoor seating, in conjunction with business, is encouraged to enliven the street scene, especially along commercial edges. Patio dining areas may be either connected or separated from building face.



If separated, the space between seating area and building face must be a minimum of 8 feet to allow pedestrian traffic. A maximum 10-foot encroachment onto park/paseo or setback areas is permitted. Patio areas may be enclosed by the tenant by open rail compatible with the architecture of the building, hedges or other suitable separation.

### ***Live/Work***

Live/Work opportunities shall be limited to Medium and High-Density Residential planning areas and may develop in one of two scenarios: 1) live/work may be included in a vertical mixed-use setting with residential units located over retail/commercial/office (see Commercial list of permitted uses); or 2) live/work may also occur in multi-family live/work buildings such as townhomes and lofts and would be a stand-alone multi-family workspace. Refer to Section 3.3.3 for additional information on live/work development standards.

Live/Work is an appropriate transitional use between primarily commercial and primarily residential areas within the project.

**TABLE 3-3: PERMITTED USES, NON-RESIDENTIAL PLANNING AREAS**

P – Permitted C- Conditional Use Permit D- Director Review X-Not permitted

USE	EC	MU
<b><u>Administrative Uses</u></b>		
General, Governmental, or Executive Offices, including engineering, architectural, legal, and general offices	X	P
Clerical Services	X	P
Research & Development	P	P
Telecommute Centers/Business Centers	P	P
<b><u>Retail Commercial and Food Services</u></b>		
Apparel and Accessory Stores	P	P
Art Galleries	P	P
Alcoholic beverage sales for on-premises consumption	C	C
Alcoholic beverage sales for off-premises consumption	C	C
Brew-on Premises Facilities	C	C
Building materials and garden supplies (such as hardware stores, nurseries and garden stores, paint, glass, tile and wallpaper stores, plumbing, heating and electrical supply stores, etc).	X	P
Catering	P	P
Food service including restaurants, convenience foods, specialty foods, and catering	P	P
Food Service with Drive-thru	C	C
Food and Beverage Stores, including Bakeries, candy, nut and confectionery stores, Convenience Markets, Dairy products stores, meat, fish and produce markets.	P	P

**TABLE 3-3: PERMITTED USES, NON-RESIDENTIAL PLANNING AREAS**

P – Permitted C- Conditional Use Permit D- Director Review X-Not permitted

USE	EC	MU
General Merchandise, including large-format, discount, and wholesale/warehouse types stores, retail sales (no adult-oriented businesses)	X	P
Nightclubs, bars, and cocktail lounges	C	C
<b><u>Hospitality and Resort Uses</u></b>		
Lodging uses, with typical food service, conference rooms, ancillary retail, pools/spa, personal services	P	P
Nightclubs, bars, and cocktail lounges	C	C
Live entertainment venues	C	X
Gaming Facilities	C <sup>2</sup>	X
<b><u>Residential Uses</u></b>		
Uses in the High-Density Residential category per Section 3.3.2 of this Specific Plan.	P	P
Live/Work subject to the performance standards in Section 3.6 herein	X	P
Residential and commercial or office uses in the same structure (Mixed Use)	P	P
<b><u>Healthcare Uses</u></b>		
Hospital, Medical Centers, Urgent Care	X	C
Medical Office, including medical, dental, chiropractic, optometrists	X	C
Health services, including health care offices and clinics, laboratories (medical and dental), medical supplies, physical therapy, specialty out-patient clinics	A	P
Nursing homes, convalescent care, long term care	X	C
<b><u>Service Uses</u></b>		
Assisted Living/Skilled Nursing/Memory Care, Congregate Care, long term care and similar uses	X	C
Business services such things as Accounting and Bookkeeping, Advertising and Public Relations Agencies, architectural and engineering firms, financial services, legal services, Commercial Photography, Art and Graphic Design, and Custodial Services.	P	P
Community-scale worship facilities	X	C
Financial Services, including banks, savings and loans, credit union, escrow services, investment services, mortgage bankers and brokers.	P	P
Laundromat (coin-operated)	P	P
Pet stores and veterinary clinics	X	P
Insurance Agents and brokers, real estate agents and brokers, title services	X	P
Personal Services such as Barber/Beauty shop, Carpet and Upholstery Cleaning, Currency Exchange (check cashing), Laundry and Dry Cleaning Services, Linen Supply, Locksmith, Pet Grooming, Photographic, Studios, Picture Framing, Shoe Repair and Shoeshine Parlors, Tailors/Dress Makers, Ticket Agencies, and Travel Agencies	P	P
Social services, including individual and family services (counseling, family planning or other similar services) and tutorial services	X	P
Adult Day Care	X	P
Athletic and health clubs	C	C

**TABLE 3-3: PERMITTED USES, NON-RESIDENTIAL PLANNING AREAS**

P – Permitted C- Conditional Use Permit D- Director Review X-Not permitted

USE	EC	MU
Educational Services, including public and private preschools, elementary schools, secondary schools, colleges and universities and learning centers, vocational schools	X	C
Schools for personal enrichment, including art, music, martial arts, yoga and dance schools and studios	P	P
Parks, community centers, plazas, civic uses, open space	P	P
Civic, Cultural, Institutional	C	C
Day Care Centers including employer-provided on site	C	D <sup>1</sup>
Movie theaters, performing arts centers, commercial entertainment	P	C
Automobile Service Stations	X	C
Manufacturing and storage as an accessory use (no more than 25% of ground floor area)	X	X
<b>Other</b>		
Public Utilities	P	P
Electric Vehicle Charging Stations	P	P
Parking lots and park-and-ride areas.	P	P
Places of Worship	P	P
Public Safety Facilities such as fire stations, police stations and similar facilities	P	P
Communications Facilities and services, subject to the zoning code	C	C
Mini Wireless Telecommunication Facilities per the zoning code	C	C
Small wind energy systems	P	P
Entertainment Uses including theaters, bowling Alleys and similar uses	C	C
Commercial Recreation including amusement devices (3 or less games of skill or science), sports facilities, water park, water sports, aquarium, climbing walls/gyms, flight simulators, science centers and similar	C	C
Live entertainment, including large-scale festivals	C	C
Notes:		
1. May be allowed by Director Review if processed as part of a site plan.		
2. Gaming uses are subject to specific California and federal restrictions		

**TABLE 3-4: DEVELOPMENT STANDARDS, NON-RESIDENTIAL PLANNING AREAS**

Item	EC	MU
Lot area (minimum square feet)	10,000 sf	10,000 sf
Maximum Floor Area Ratio (FAR)	2.5	0.5
--With Residential Mixed Use <sup>1</sup>	5.6	1.25
Parking on-site spaces (minimum)	See Table 3-6	See Table 3-6
Mixed-use shared parking	Director Review Study Required	Director Review Study Required

<sup>1</sup> For the EC and adjacent HDR planning area (PA B3), the maximum HDR density may be exceeded when combined in a mixed use building, subject to architectural review.



**TABLE 3-4: DEVELOPMENT STANDARDS, NON-RESIDENTIAL PLANNING AREAS**

Building Setback from Perimeter right-of-way		
Freeway	--	25 feet
Arterial	20 feet	20 feet
Collector	20 feet	10 feet
Local		10 feet
Interior Side and Rear building setback	20 feet	10 feet
Min. parking setback (right-of-way to parking)	10 feet	10 feet
Building height (maximum)	85 feet	55 feet <sup>1</sup>
Allowable projections for architectural features	10 feet	10 feet
Minimum distance between buildings	20 feet	15 feet
Landscaping site coverage	15%	15%

**Notes:**

Setbacks shall be measured from right-of-way. Setback areas must be landscaped.

1. Architectural features such as clock towers, focal elements, cupolas, etc. may extend beyond the maximum height by up to 10 feet. Porte-cocheres for hotels if provided, may have a maximum height of 35 feet.

## 3.5 WELLNESS UNIVERSITY OVERLAY

The College and University Overlay works in conjunction with underlying zoning to address the unique development issues associated with a potential public or private institution of higher education within Planning Area A-5. The underlying land use for the overlay is Medium Density Residential, which may be implemented as a permitted use in accordance with the provisions of this Specific Plan. Should a public or private college or university be proposed for all or a portion of the Overlay district, the standards of this section would apply. In the event of a public institution, State of California requirements would supersede this section.

The purposed of the overlay is to create a core for college or university uses with supportive retail and housing to promote higher education, with special emphasis on healthcare. It will further facilitate development which complements the physical and social characteristics of a higher education institution and its surrounding neighborhoods.

Desirable new development would include projects which fully utilize the development potential of the property and incorporate education uses in a comprehensive campus setting. Uses such as food uses with seating, art galleries, bookstores and other culturally compatible and pedestrian-oriented uses will contribute to the area's economic vitality.

### 3.5.1 Application of Regulations

Within the College and University Overlay, the regulations of the base district shall continue to apply to property within the overlay, except as specifically modified by this section.

### 3.5.2 Permitted Uses

The following uses are allowed within Planning Areas A-5, designated as the College and University Overlay:

- a. Colleges and Universities, public or private, including community colleges, technical schools, medical schools, optometry, chiropractic, dental, culinary, law, and similar facilities.

- b. College uses, including classrooms, outdoor learning spaces, offices, laboratories, theaters, dormitories, athletic facilities, banquet hall, reception facility, maintenance and operations facilities, parking, and other associated uses.
- c. Hospital facilities in conjunction with a college or university
- d. Support retail, including food service, book stores, grocery, and similar uses
- e. Adult and child daycare
- f. Cultural institutions, museums, theaters for live performances
- g. Use of facilities by community and other organizations for special events, workshops, seminars, conferences and similar uses
- h. Offices for non-profit organizations
- i. Places of assembly and/or worship, meeting halls, clubs
- j. Student group quarters, dormitories and apartments, and other student housing facilities
- k. Staff and/or faculty housing
- l. Multi-family housing, not designated for students, faculty, or staff, maximum density of 30 du/acre.
- m. Parking
- n. Utilities and drainage facilities
- o. Public or private parks as a shared-use

### 3.5.3 Master Plan Required

All institutions are required to prepare master plans and submit the plans to the City for approval. Master plans may provide for greater flexibility than would otherwise be permitted by strict development standards, provided master plans are consistent with the intent of this chapter and the Specific Plan. Provisions in an approved master plan shall take precedence over the provisions of the Specific Plan Development Regulations.

If the school is public, the planning will be processed through the Department of the State Architect or a campus architect for those campuses which are self-certifying.

The emphasis of master plans shall be to provide for cohesive institutional campuses and to address the interface between adjacent uses and development. A master plan should address issues such compatibility with existing or planned adjacent uses, sustainable building practices, conservation, streetscape design, vehicular and pedestrian circulation, building locations, landscaping concepts, sign programs, campus lighting, and other issue areas listed below

- A. The intent of master plans is to encourage:
  - A creative and imaginative approach to the design of institutional campuses;
  - Appropriate interface between an institutional campus and surrounding neighborhoods; and
  - A cohesive pattern of development, an efficient use of land, and increased commitment to principles of green building and sustainability.

B. Master plans should address the following:

1. Overall campus design;
2. Interface with adjacent existing or future development;
3. Building pattern, massing, physical characteristics of, and conceptual design guidelines for buildings;
4. General building location, height, orientation, and size;
5. Floor area ratio (FAR);
6. Open space;
7. Housing;
8. Campus parking layout;
9. Protection of existing or future adjacent residential properties from potential impacts of noise, glare, increased activity that reduces privacy, or safety;
10. External and internal campus streetscape; and
11. Pedestrian and bicycle circulation/connections within the campus and to the overall Specific Plan area.

C. Master plans shall also demonstrate the institution's commitment to minimize its consumption of energy and water, and to promote other principles of sustainability by addressing issues including, the following:

1. Design of energy-efficient buildings with appropriate site orientation, passive solar and ventilation techniques, and energy-efficient materials;
2. Implementation of sustainable building practices including reuse and recycling of construction and demolition material;
3. Use of fuel-efficient equipment and appliances;
4. Use of landscape practices that promote water conservation;
5. Implementation of strategies for reducing single-occupancy vehicle trips; and
6. Other principles and practices for sustainable design promulgated in General Plan, the City's Climate Action Plan, and this Specific Plan.

Master plans and amendments to approved master plans are subject to review and approval by the City Council. Administrative procedures for the Overlay are outlined in Section 5, *Implementation and Administration*.



## 3.6 LIVE/WORK

The “Live/Work” designation is a mixed-use building type that accommodates non-residential work areas adjacent to or below residential living areas, with specialized workspaces that can accommodate more intensive work activities than appropriate for an exclusive residential building under home occupancy uses. Live/Work is allowed and encouraged in single-family attached and alley-loaded products and multi-family attached, with orientation to streets at transitional locations between pure commercial and pure residential areas. Live/Work units shall be located adjacent to and fronting a street. The Live/Work standards for the Specific Plan area assume no more than two employees for Live/Work uses and assume no separate rental of the live or workspace to a second party. Live/Work is an appropriate transitional use between primarily commercial and primarily residential areas within the Mixed Use land use areas.

### 3.6.1 Applicability, Live/Work

The standards provided herein apply to single-family attached home type or alley-loaded single-family uses within the Mixed Use District or Medium Density Residential planning areas fronting a Mixed Use planning area. The following standards are intended to supplement the standards for Medium and High-Density Residential uses.

Live/Work units must be owner-occupied.

### 3.6.2 Permitted Uses

- a. Home Occupations
- b. Artist and Craft Activities (low impact media only such as jewelry making, graphic artists, etc.)
- c. Cottage Production Activities Production of goods or services involving low impacts and no employees (e.g., jewelry making, garment making, small leather goods, printing, computer or small goods repair, media production and recording studios.)
- d. Service Activities Office or service work with few or no impacts and no more than two employees, (e.g., software developers, analysts, writers, accountants, secretarial services, personal services such as hairstylists, music teachers, tutors, therapists, child daycare, contract workers, telecommuters, office bases for off-site services such as building and landscape contractors, sales representatives.)
- e. Small businesses with frequent one-on-one interaction with clients who meet in home offices. Examples include:
  1. Architect/Landscape Architect/Engineer/Land Planner
  2. Interior Decorator or Designer
  3. Fine Arts Studio and Sales/Ceramics and Pottery Studio and Sales/Clothing Design Studio and Sales
  4. Graphic Design Studio and Sales
  5. Photography Studio/Portraiture and Sales
  6. Planning Consultant

7. Attorney/consultant
  8. Income Tax Service/Escrow Service/Insurance Agency
  9. Internet Service Provider/Webmaster
  10. Tutor
  11. Mobile Businesses
- f. Notwithstanding the specific permitted uses outlined above, the Development Services Director may authorize other uses using reasonable discretion, as long as such other uses are not otherwise precluded by law. The Development Services Director will consider the effect on the project and will not approve a use that has a materially adverse impact on other units in the project, or surrounding neighborhood. The Director's decision may be appealed to the Planning Commission or the Director may refer the request to the Planning Commission as a Conditional Use Permit.

### 3.6.3 Prohibited Uses

Prohibited uses are those uses that are not compatible with the permitted uses for the project, as well as all uses which are contrary to any city development code or other governmental condition of approval for the project. The following uses are expressly prohibited in a live/work project due to conflicts with residential uses, traffic generation, or high parking requirements:

- a. Medical/Dental Office
- b. Chiropractic/Acupuncture Service
- c. Massage/Acupressure Service
- d. Veterinarian/Kennel/Animal Care Facility
- e. Tattoo or Body Piercing Service
- f. Banquet Facility
- g. Adult Business as defined by the Coachella Municipal Code
- h. Recycling Center or storage
- i. Sales, repair or maintenance of vehicles, including automobiles, boats, motorcycles, aircraft, trucks, or recreational vehicles, provided that light maintenance of resident-owned vehicles shall be allowed so long as such maintenance is conducted entirely within the interior of a garage.
- j. Trade or Private School
- k. Religious Institution
- l. Any use that regularly or periodically generates vibrations, excessive noise, heat or smell, which affects any other condominium units within the project or surrounding properties, as determined by the City of Coachella Development Services Director.

- m. Other uses that the Development Services Director reasonably determines would detract from the overall image of the project or which might adversely affect the value of the individual uses within the project.

### 3.6.4 Live/Work Standards

Live/Work is the blend of residential and working components within a single dwelling. The development standards for the base residential density set forth the basic building criteria. The following standards are written to give further standards on the commercial aspects of the building, and the interaction between living and working areas.

#### *Orientation*

Most residential units are anticipated to be located above the main floor; however, if properly designed to mitigate conflicts concerning livability and privacy, ground floor or partial ground floor units are allowed.

#### *Entries and Private Outdoor Space*

There should be direct pedestrian access from the front street to each individual business. Direct pedestrian access from the business to the residential unit is also encouraged. Residential units may be accessed from the fronting street or from the rear or side of the building.

#### *Living Area and Work Space*

Living quarters are permitted above the work area, to the side or in back of the work area. A minimum square footage of living area shall be 400 sq. ft. A minimum square footage of workspace shall be 200 sq. ft., with an 800 sq. ft. maximum.

#### *Parking and Storage*

All tenant parking is to be provided for on-site, at the rear of the units or underground if subterranean parking is provided. Live/Work units are required to provide 0.25 visitor spaces/unit, which may be located on-street. This requirement is in addition to the parking requirements for residential use.

Garbage container storage areas, heating and mechanical equipment, and off-street parking and loading facilities must be located at the rear of the units. When a live/work unit has an attached garage, access from the work area to the rear of the building is required through the attached garage.

#### *Loading*

Mixed-use and Live/Work settings are encouraged to employ shared loading areas and on-street parallel parking as loading spaces. On-street loading spaces shall have appropriate loading, time/day signage for the space and shall be in addition to required parking for the mixed-use building/tenant. Otherwise, no loading or unloading is permitted in the public right-of-way. No loading or unloading activities shall interfere with parking or vehicular access. Loading areas, where provided, shall not be visible from the public street.

#### *Signage*

Signage is intended to promote and enhance on-site businesses, maintain a quality neighborhood, provide direction for pedestrian and vehicular circulation, support a residential living environment and retain the character of the local neighborhood. No freestanding or monument signage is allowed for live-work uses. A signage program shall be prepared by the merchant builder and submitted for review and approval by the City of Coachella.



#### *Business License*

A business license must be obtained for all live/work activities. Licenses will define:

- a. Permitted number of employees
- b. Business hours of operation
- c. Potential public safety concerns, nuisances such as noise, vibrations, etc.

#### *Review Procedures*

All applications for live/work commercial activities shall be reviewed and approved by the Master Association. Prior approval shall be received by the developer of the parcel and Homeowner Association, before submittal to the City for a conditional use permit.

## **3.7 SCHOOLS**

### **3.7.1 Permitted Uses**

The following uses are allowed within Planning Areas A-11, C-5, and E-2, designated as school sites:

- a. Elementary/Middle schools (public or private)
- b. School-related uses such as auditoriums, cafeteria, lighted ball fields, playgrounds
- c. Parking
- d. Utilities and drainage facilities
- e. Public parks as a shared use
- f. Low-Density Residential Uses

The proposed school sites will be offered to the School Districts for elementary/middle school use for project-related school needs. School sites would be placed in accordance with CCR Section 14010. Standards for School Site Selection regarding power line easements and Education Codes Sections 17212 and 17212.5 regarding earthquake fault and special study zones. At the time of project build-out, or upon written notification by the District that the school site is not needed for school uses, the use of the school site may revert to an underlying land use designation that allows Low-Density Residential uses as defined in the land use section of this Specific Plan. Development Regulations for Low-Density Residential uses shall apply.

Such reversion of land use shall not require an amendment to the Specific Plan provided that such reversion does not increase the total number of residential units within the Specific Plan. Should additional units above the maximum allowable residential unit count be requested, an amendment of the Specific Plan unit limitation shall be required.

Schools are parked as outlined in Table 3-6 below.

## 3.8 PARKS/RECREATION

This zone includes the neighborhood and linear parks in the Specific Plan area. These parks are located throughout the project as shown on Figure 2-4, Parks and Open Space. Recreation in all parks may be active or passive in nature.

### 3.8.1 Permitted Uses

- a. Active and passive recreational uses as described in the Parks and Recreation Plan and Guidelines by park type, including but not limited to play fields, courts, tot lots, picnic areas, fitness courses, pools/spas, dog parks, disc golf, etc.
- b. Private clubhouses or community centers
- c. Restrooms, shade structures, storage/maintenance sheds
- d. Community Gardens
- e. Botanic Gardens
- f. Amphitheaters
- g. Utilities
- h. Roads, Driveways, Parking
- i. Drainage features including water quality basins, bioswales, etc.
- j. Water play features, including water parks, water sports, recreational lakes
- k. Antennas subject to the requirements of the Coachella zoning code
- l. Sporting and recreational camps
- m. Child daycare centers

### 3.8.2 Temporary Uses

- a. Construction activities, including materials and equipment storage and construction offices.
- b. Seasonal sales such as Christmas trees, pumpkins, vegetables and related items.

### 3.8.3 Building Height

No park building may exceed one story in height except that a split-level or multi-level design may be approved as part of Director's design review. Special uses such as amphitheaters or water parks may have structural elements which extend beyond one story, subject to design review.

## 3.9 Open Space

The Open Space land use designation is intended to establish open space areas for generally passive recreation and to provide protection from environmental hazards, including drainages, and water features.

### 3.9.1 Permitted Uses

- a. Conservation areas (wildlife/natural habitats, habitat enhancement areas and sanctuaries).
- b. Interpretive areas, including public information kiosks.
- c. Temporary Facilities subject to an Administrative Approval (includes facilities which do not require the construction/installation of any structures).
- d. Pedestrian or equestrian trails, staging areas, passive park areas, interpretive areas and associated facilities.
- e. Public infrastructure facilities including but not limited to those necessary for drainage, water quality, and flood control including the retention or detention of flood waters and other similar facilities necessary to control downstream erosion; controlling or reducing water runoff pollutants; public communications; facilities necessary to provide for public safety or health.
- f. Public parking ancillary to a permitted use.
- g. Antennas as provided in the Coachella Zoning Ordinance Section 17.68, subject to site plan review.
- h. Roads.
- i. Fuel modification zones.
- j. Agriculture.

### 3.9.2 Uses Subject to a Conditional Use Permit

- a. Sporting and Recreational Camps.
- b. Incidental, seasonal sales stands for row, field, trees and nursery crops.
- c. Utility stations and associated equipment buildings.
- d. Wireless Communications Facilities subject to as provided in the Coachella Zoning Ordinance and in compliance with Section 17.86 of the Zoning Ordinance.
- e. Individual wind turbines.
- g. Photovoltaic energy generation.
- h. Recreational water features, which may be subject to additional environmental review.



## 3.10 Parking

### 3.10.1 Parking Requirements

Parking and loading within the Specific Plan area shall generally conform to the requirements of the Coachella Zoning Code Section 17.54 except as specified herein. Accessible parking shall be governed by government code. The following is a summary of the off-street parking requirements for the project:

TABLE 3-6: PARKING	
Use	Parking Requirement
Commercial/Office	1 Space/250 square feet of gross floor area
Hospitals, convalescent care, Nursing facilities and similar	1 space per 3 licensed beds
Acute Care Hospitals	1 space per licensed bed
Hotel	1 space per room plus 1 space per 3 employees plus 1 space per 3 persons for public meeting spaces, plus 50% of the spaces otherwise required for accessory uses (restaurants)
Single Family Residential	2 spaces per dwelling Unit within an enclosed garage
Attached/Duplex/Multi-family Studio/1 BR	1 space per dwelling unit covered or within a garage, plus 0.66 spaces per unit open parking
2+ BR	1 space per dwelling unit, covered or within a garage plus 1.33 spaces per unit of open parking
Schools - Private Elementary/Middle School High School	1 space per teacher/staff plus one space per 2 classrooms 1 space per teacher/staff on the largest shift plus 5 spaces per classroom
College	One space per staff member plus 10 spaces per classroom or per master plan
Commercial or Trade School	1 space per two students plus 1 space per employee at capacity class attendance
Auditoriums, Churches, Theaters, performing arts venues	1 space per 3 seats or 1 space per 21 square feet with there are no fixed seats, or per a parking study.
Gaming Uses	Per a parking study
Bicycle Parking	Per CalGreen
EV Charging spaces	Per CalGreen
Notes:	
1. Commercial uses may provide labeled spaces for short term order pick-up.	

### *Drive-Through Provisions*

Queuing for drive-through restaurants shall provide a minimum storage of eight vehicles, or 160 linear feet. If a high volume use is proposed, the Development Services Director may require a queuing analysis. Drive-through lanes shall not interfere with the circulation of the parking lot and shall not encroach upon or block driveways or parking spaces and shall not be located in a way that may overflow onto public rights-of-way. A landscaped buffer five feet in width shall be provided between a drive-through lane and a street, driveway, or property lines.

### ***Mixed-Use Parking Reduction***

By approving an administrative use permit, the Director may reduce the parking requirement for projects sharing parking based on the findings of a shared parking study. This is expected to occur in mixed-use areas and the entertainment district of the plan. Required residential parking shall not be shared with commercial parking.

### ***Rideshare Provisions***

Commercial, hotel, private schools and universities, performing arts facilities, and mixed-use projects shall incorporate rideshare drop-off areas as part of site plan submittals. Drop-off areas shall be located in a central location and be signed and lighted and shall be of a size sufficient to accommodate the demand of the facility.

### ***Charging Stations***

Electric vehicle charging stations shall be provided as required by Title 24. Such stations may be counted towards required parking.

### ***Mechanical Parking Lifts***

In commercial zones and multi-family developments, by approving an administrative use permit, mechanical parking lifts may be used to satisfy all or a portion of vehicle parking requirements.

Applications submittals shall include any information deemed necessary by the Director to determine parking can adequately and feasibly be provided and that the following performance standards can be met and the following findings for approval can be made:

1. The use of mechanical lift parking results in superior design and implementation of Specific Plan goals and policies.
2. Mechanical lift parking shall comply with Specific Plan Design Guidelines and be compatible and appropriately considered with overall building and site design.
3. Mechanical lift parking systems shall comply with all development standards including but not limited to height and setback requirements, with the exception of minimum parking stall sizes which are established by lift specifications.
4. There exists adequate agreement running with the land that mechanical parking systems will be safely operated and maintained in continual operation with the exception of limited periods of maintenance.
5. There are no circumstances of the site or development, or particular model or type of mechanical lift system which could result in significant impacts to those living or working on the site or in the vicinity.

### **3.10.2 RV Parking**

The Master Developer of the community may provide for RV parking (which may include boats, RVs, trailers for private use) through a variety of mechanisms, including:

- On an individual lot with a minimum of 7,200 square feet, by maintaining a minimum 12 feet unobstructed side yard setback area on select lots within the Low or Very Low Density Residential areas. The RV parking area must be gated, and the vehicle must be parked behind the front setback.

- Within an individual village with separate designated parking spaces for RVs in common areas, or as a conditional use associated with mini-storage within mixed use areas. Six-foot-high perimeter walls shall be required and will be screened with landscaping.

## 3.11 SIGNAGE

Signage within the Specific Plan area shall conform to the requirements of the Coachella Zoning Code except for those monument signs specifically identified in Section 4, *Design Guidelines*.



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# **SECTION 4** Design Guidelines





## 4.1 Introduction

This section contains the community design, landscape and architectural design guidelines for the KPC Coachella community. These guidelines, when implemented, will ensure that KPC Coachella develops as a high-quality master planned community with consistent design elements. The design guidelines here provide general direction to planners, builders, architects, landscape architects, and engineers on implementing the vision and community design framework for the community. The design guidelines should be used in conjunction with the development standards described in the project's Development Regulations (Section 3) and any other applicable City Design Guidelines.

As projects are implemented over time, future trends and conditions will impact the way communities are designed and constructed. These guidelines are purposefully intended to be flexible in nature to promote thoughtful and creative design when implementing the design goals and objectives. They are not intended to depict actual neighborhood, lot or building design.

## 4.2 General Guidelines

The villages of KPC Coachella will incorporate a variety of residential neighborhoods and commercial areas within a pedestrian-friendly environment, with a supporting framework of schools, parks and open spaces. The resulting development is encouraged to embrace comfortable human scale in both architecture and landscapes and well-proportioned spaces formed by appropriately positioned and articulated architecture.



The purpose of the design guidelines are as follows:

- To provide the City of Coachella with the necessary assurances that development within the master-planned community will attain the desired level of quality;
- To provide guidance to developers, planners, architects, landscape architects, engineers, builders and future property owners in order to maintain desired design quality.
- To provide guidance to City staff, City Council, and Planning Commission when reviewing future implementing projects within the Specific Plan area;
- To establish criteria for site design, grading, architecture, landscape design, streetscape design, lighting, and other distinguishing features that define the community;
- To create desirable neighborhoods that are an asset to the Specific Plan area and the City of Coachella; and
- To avoid unnecessary delays by providing a viable framework and clear direction without limiting the creativity of the designer.

KPC Coachella is envisioned as a master-planned community consisting of a collection of villages that will be compatible and connected with one another, and integrated with the area's setting. The community design embraces pedestrian-oriented development that incorporates a variety of land uses

and a wide range of housing types, medical uses, and a resort area all anchored by easily accessible public spaces.

Community entries and residential neighborhood entries consist of a thematic blend of special landscape treatments, architectural features or lighting to serve as area landmarks. Refer to Section 4.6.4, Community Gateways and Entry Monumentation, for additional information.

In KPC Coachella, villages will be designed to connect to activity centers, services, shopping and employment areas, schools, and recreational facilities via streets, sidewalks and multipurpose trails.

The terms “shall,” “should,” and “may” are used within the design guidelines. The term “shall” is used to denote a design standard where compliance is required. The term “should” is used to denote a guideline that is recommended, but not required in all circumstances. The term “may” is used to denote a design treatment that is allowed or optional.

#### **4.2.1 Sense of Place**

Successful neighborhood design depends on a combination of integrated site planning, architecture, and landscaping. The project approach ensures that each neighborhood has a distinctive character and “sense of place.” The promenades, interlinked parks, mixed-use areas and resort are four major elements that have been considered in KPC Coachella’s community design.

##### ***Promenades***

A significant series of interlinked promenades are one of the key placemaking elements within the community. The linked promenades give shape to the design and focuses on community connections and the pedestrian experience. The promenades will range in width from x to y feet and will incorporate shaded landscape, fitness course elements, and multipurpose trails. The entire promenade system will be designed to offer residents a place for strolling, playing, and resting.

##### ***Parks***

Parks are important elements that help to establish the overall sense of community. A system of neighborhood parks interconnected by NEV and multi-purpose trails will provide a continuous open space network through the project. These open spaces will greatly enhance opportunities for different levels of social and recreational functions.

##### ***Villages***

Residential neighborhoods within the Specific Plan area will be designed with multiple points of trail access, central park areas, and high-quality architecture with a variety of compatible styles. They will be unique in character while containing unifying design elements that tie into the overall theme and vision for the community.

##### ***Mixed-Use Commercial Centers***

The overall design concept for commercial centers will establish a focal area where people shop, dine, work and play. At key locations, plazas and courtyards will be designed to serve as gathering spaces where residents may stop to enjoy a cup of coffee, read the newspaper or socialize with their neighbors. The public space elements that will be incorporated into each commercial center will be based upon the ultimate uses proposed.

The following guiding principles set the general direction for planning and design of the mixed-use commercial centers:

- Create dense, compact development patterns that support a diverse mix of land uses, define public spaces and encourage pedestrian activity.
- Provide well-designed, attractive buildings that establish a high quality, distinctive character.
- Activate the streets with ground-level retail, dining and entertainment uses, outdoor public spaces and pedestrian-friendly streetscape amenities, where applicable.
- Provide convenient access to the promenades, paseos, multipurpose trails and community open space system, sidewalks, residential areas and recreational facilities.
- Encourage open-air plazas that are pedestrian-friendly and act as a focal point for surrounding development.

### **Resort**

The resort area will present the primary entry focal point for the Specific Plan area, centered on the Avenue 50 extension into the site. This unique area will incorporate water features, hotels and support commercial, and a concert venue.

The following guiding principles set the general direction for planning and design of the resort area of the plan:

- Iconic, regionally-oriented architecture,
- Open-air plazas and gathering spaces
- Convenient and efficient parking

#### **4.2.2 Walkable and Multi-Modal Network**

Attractive, safe and walkable streets will be provided throughout the community. Street pattern and character may vary to reflect the surrounding land uses and development intensity. Streets in the mixed-use areas should be animated by active architecture with a diversity of activities, streetscapes, and plazas.

KPC Coachella is designed to promote a strong relationship between streets and homes. Homes will be designed to have a direct relationship to local streets. One way to enhance security is to orient rooms, doors, and windows toward streets and public areas and incorporate architectural elements such as front porches.

The design of the Landscape Master Plan discussed in the following section provides continuous parkways along streets, uniform street trees on each street, promenades and drainage ways, as well as sidewalks for pedestrian connectivity, where applicable. The goal is to create intimate, socially interactive and secure neighborhoods that encourage street activity, promote walking, and allow convenient access to parks,



*The connected series of multi-use trails promote walkability as well as alternative means of travel by bicycle and electric vehicle.*



school, and shopping. Streets in the residential neighborhoods should have sidewalks separated from the curbs with street trees in the landscape parkway.

To create more livable streets, it is also necessary to control traffic and reduce speeds. On-street parking, use of roundabouts, and narrower street cross-sections will help to calm traffic in residential neighborhoods.

A well-connected community encourages residents to use multiple modes of transportation. Increased connectivity will be accomplished by linking community amenities like the commercial centers, school, open space and parks, through a network of promenades, paseos, trails, bike/NEV lanes, sidewalks and transit routes.

## 4.3 Hillside Design

The KPC Coachella Specific Plan area is located in the hillside area of the Coachella Valley, north of Interstate 10. The viewshed from the City of Coachella includes the low ridges of the site and the dominant backdrop of the Little San Bernardino Mountains and Orocopia Mountains beyond. The landform of the site consists of a gently sloping area on the site's northern edge, transitioning to a series of alluvial drainages and erodible sandstone ridges separating them, with an area of steeper slopes adjacent to the I-10 corridor..

In particular the southern portions of the site contain areas of steep erodible slopes. A portion of this area is intended to be graded to accommodate the new Avenue 50 interchange with I-10 under a separate project processed through Caltrans.

The project's grading plan retains the site's pattern of ridges and drainages throughout the site, as shown on the project's Conceptual Grading Plan provided in Section 2, Figure 2-15. The grading plan shapes areas for development, parks and open space, and drainage areas.

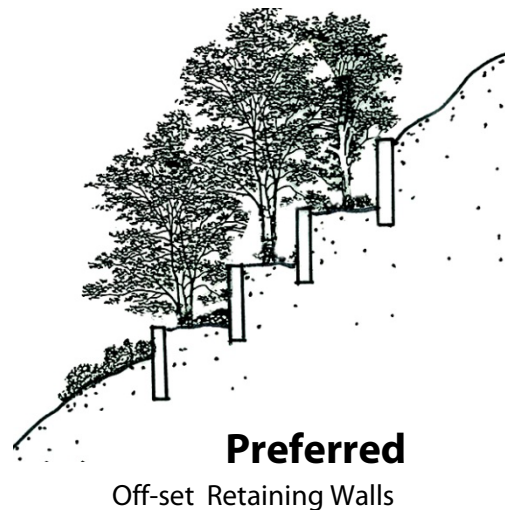
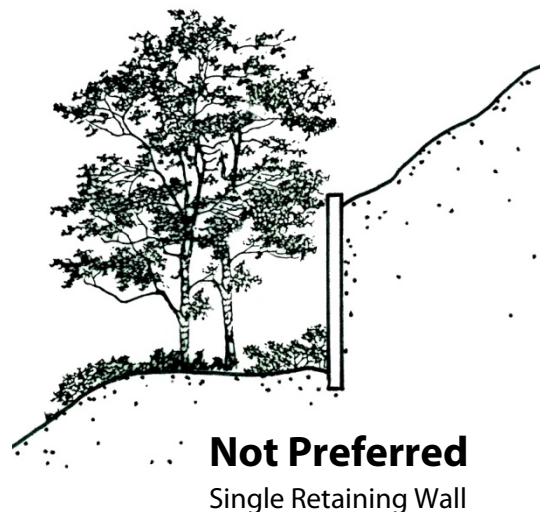
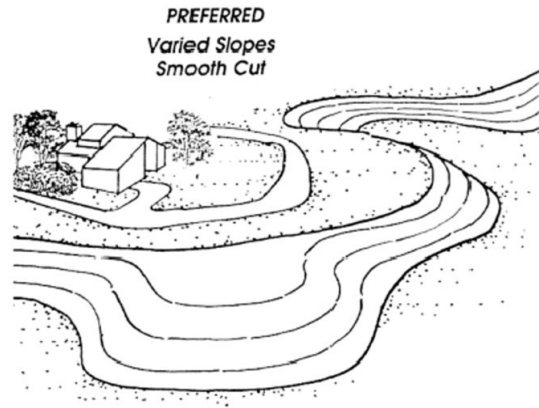
The following factors are of critical importance to the visual image of the ultimate project:

- Use of landform grading techniques
- Use of revegetation
- Appropriate retaining wall design
- Remediation of soil conditions

The following grading and hillside development guidelines will apply to all development within the Specific Plan.

- Incorporate existing landforms, natural features, vegetation, rock formations, and the prevailing ridgeline pattern to the fullest extent feasible.
- Natural features, such as significant rock outcroppings, should be protected to the extent feasible in the siting of individual lots and building pads in very low-density areas.

- Provide movement and undulation to avoid long stretches of slopes. Where possible, utilize slopes flatter than 2:1.
- The overall slope, height and grade of any cut and fill slope should be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- Landform grading techniques such as varying slope height, rounding tops and toes of slopes, and incorporating variable gradients should be used to ensure that manufactured slopes have a more natural appearance. The toes and tops of all slopes higher than ten feet should be rounded, where possible, with curve radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- Angular forms are discouraged. The graded form should reflect natural terrain, where possible.
- Add supplemental natural landscaping to compensate for vegetation losses. Vegetation, irrigation, and continuing maintenance programs should be used to stabilize manufactured slopes, with trees and shrubs used to soften their appearance.
- Landscaped berms should be encouraged to help screen utilitarian features such as, but not limited to, water tanks and detention basins.
- Opportunities for slope design with planting pockets and stepped designs are encouraged.
- The use of Mechanical Stabilized Earth (MSE) walls, terraced retaining walls and other similar living wall systems that allow for landscaping are permitted. Such walls should be planted with landscape material suitable for the climate, wall exposure relative to the sun, and taking into consideration the landscape aesthetic effect to be achieved by the overall development.



*Grading strategies to be implemented within the plan area.*

## 4.4 Residential Guidelines

The following sections detail criteria related to the architectural styles, design elements, materials, and other applicable architectural features appropriate for residential development within the KPC Specific Plan area. Residential development may take many forms due to the wide range of densities allowed within each of the different villages. From the more dense townhouses and apartments found in the urban core to large-lot single-family residences associated with agricultural development in Village E, it is important that future development within the plan area is unique and reflective of the surrounding environment while still containing cohesive elements that bind the community together aesthetically.

The intent of these guidelines are to provide the framework for high-quality architectural development within the plan area. These guidelines intentionally provide flexibility so as not to limit the creativity of future development and allow the intent of the guidelines to remain relevant and responsive to future residential development trends.

### 4.4.1 Architecture

#### *Home Types*

The land use plan for KPC Coachella includes neighborhoods with a variety of home types, ranging from single family homes to multi-family townhouses and apartments. This section describes the different home types found within the plan area and their defining characteristics.



- **Front-Loaded Single Family Detached.** This home type is an individual, freestanding, unattached dwelling unit on an individual lot. Homes are typically set back from the street with primary entries which face the street, with private rear and side yards. Garages are typically in the front or side and face the street with driveways.



- **Alley-Loaded Single Family.** This home type is typically set back from the street with building orientation towards the street, where primary entries and walkways face the street, and have private rear and side yards. Vehicle access to the home is via rear-facing garages accessed via a private alley.



- **Single Family Detached Cluster.** This home type is comprised of single-family detached dwelling units clustered around an auto or green court and typically includes four to six units in a cluster (often referred to as “four-pack” or “six-pack” development). Primary entries and walkways face the private alley, greenway, or the street. Private outdoor living spaces can occur in the side and rear yards. Auto access is via private alleyway within the motor courts or street. Resident parking is provided in garages, and guest parking is provided on private driveways, public or private local streets, or designated parking.



- Attached Motor Court Cluster. This home type are attached homes with living spaces oriented toward a linear open space/paseo. Homes enter from either a motor court or green space and have private outdoor living space. Auto access is via the private alleyway within the motor court. Resident parking is provided in garages, and guest parking spaces are provided on local streets or in designated parking areas.
- Row Townhomes. This home type is single-family attached homes with primary entries facing street or common open space, typically attached side-by-side in a row creating the illusion of a single building. The units have private outdoor living space (balcony or patio). Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas. Common open space is often provided in the form of an amenity area.
- Flats/Multi-family. Multi-Family flats are attached multi-family homes, either as a rental product or ownership condominium. Automobile access is via an alley or private drive generally associated with a surface parking lot or structure. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas. Common open space is often provided in the form of an amenity area.



### ***Residential Architectural Styles***

KPC Coachella is envisioned as a community with a variety of architectural styles where architectural massing, roof forms, detailing, walls and landscape are integrated to reflect regional and climate-appropriate styles and provide cohesive design elements across all architectural styles and forms of development.

The following styles should be utilized as a basis for residential development, however, other compatible styles typical of the California architectural vernacular may also be considered at the time of architectural review:

- Monterey
- Spanish Eclectic
- Cottage/Farmhouse
- California Ranch
- Craftsman/Bungalow
- Italianate/Tuscan

On the following pages, each architectural style is defined by elements that are typical characteristics of that style. Suggested elements are those that help to further define the character of each style. A representative number of these elements will be required for each homebuilder. These style elements apply only to the front and publicly visible side and rear elevations. The photographs are intended to illustrate some of the typical characteristics of each style and are not intended as inflexible requirements or standards.

In Very Low-, Low- and Medium-Density neighborhoods, the use of multiple themes with a range of styles is required. This approach creates variety in the massing, scale, proportions and materials, which is appropriate to the scale of the street scene. It also reflects the diversity found in Coachella's existing neighborhoods.

High-Density areas may utilize only one architectural theme of compatible architectural styles and character. This approach creates the compatibility necessary to address the intensity, scale, and massing associated with high-density homes in these neighborhoods.

## Monterey

With influences from both the Spanish and New England Colonial homes, the Monterey style includes Spanish detailing with the Colonial style form. Buildings of this style include stucco or masonry walls with “S” or flat concrete shake roofs and may include many elements of historical Spanish homes, including simple building form and mass, rusticated corbels (structural elements jutting from the wall), head trim, posts and balconies (if used), and gable roof forms. Monterey style buildings often have porches and second-floor balconies or verandas; however, these are not essential. Successful adaptations of this style focus on careful massing, detail, and the natural beauty inspired by a blend of rich Spanish and Colonial heritage and influences.


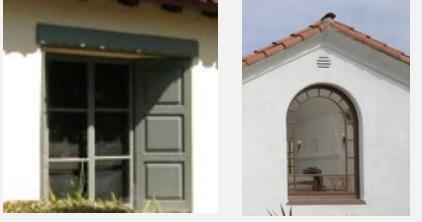



Elements	Typical Characteristics	Images
<b>Massing</b>	<ul style="list-style-type: none"> <li>Typically two stories</li> <li>Simple posts on balconies</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Low pitched gable roofs (3.5:12 to 5:12 pitch)</li> <li>Second story balcony often cantilevered and covered by roof or inset</li> <li>Overhangs at eaves</li> <li>Tight to 12" overhangs at rakes</li> <li>Flat or "S" concrete tiles in variegated colors (red clay is predominant)</li> <li>Exposed rafter tails</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco, smooth to light sand finish</li> <li>Rusticated brick on first floor or wood</li> <li>Painted brick</li> <li>Board and batt at upper level</li> <li>First and second stories often have different finish materials</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Shutters on feature windows</li> <li>Vertically proportioned window configurations</li> <li>Windows with divided lites</li> <li>Decorative shutter hardware and pot shelves</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Covered porch or entry</li> <li>Simple columns with base trim</li> <li>Shaped wood corbels</li> <li>Head and sill trim</li> <li>Appropriately styled door and hardware</li> <li>Spanish inspired lighting</li> <li>Roll-up or carriage style garage door</li> </ul>	

## Spanish Eclectic

The Spanish Eclectic style takes its cues from the early Spanish missions and is an adaptation of Mission Revival, with additional Latin American details and elements. The style became widely popular after the 1915 Panama-California Exposition. This style may be a compatible blending of Spanish elements and may include Santa Barbara style, Spanish Colonial, and Mission Revival.





The use of tile roofs, smooth stucco walls, heavily textured wooden doors, and highly articulated ornamental ironwork create strong contrasts of materials and textures. Plans can be designed around a courtyard with a simple articulated front facade. Other design treatments may include scalloped windows and balconies with elaborate grillwork, decorative tiles around doorways and windows, and a bell tower.

Elements	Typical Characteristics	Images
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Main gable roof (front to back)</li> <li>3.5:12 to 5:12 roof pitch</li> <li>Tight to 12" overhangs at rakes</li> <li>8" to 12" overhangs at eaves</li> <li>"S" concrete or clay tile</li> <li>Cross gable at front</li> <li>Shaped, stucco eaves or rafter tails</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Trim or reveal around front and visible windows</li> <li>Grid patterned</li> <li>Plank shutters on accent windows</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Decorative gable treatment</li> <li>Front porch with wood-like or stucco columns</li> <li>Corbels at wood-like columns</li> <li>Decorative metal grille work, pot shelf, balcony railing, etc.</li> <li>Round top arched openings</li> </ul>	

## Italianate/Tuscan

The Tuscan style is inspired by the informality of the rural farmhouse and settlement buildings typical in traditional villages in Tuscany. These structures often included traditional square towers and were created with indigenous materials and colors to blend with the surroundings. Landscape is seen as an extension of the living space, so courtyards and gardens were common features.

Tuscan is characterized by low-pitch irregular roof lines which may be punctuated by a tower or campanile. Exterior walls are stucco with stone or adobe accents, often on the front entry.


Elements	Typical Characteristics	Images
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Main hip roof with gable ancillary roofs</li> <li>3.5:12 to 5:12 roof pitch</li> <li>Tight overhangs at rakes and eaves</li> <li>"S" concrete tile or clay tile</li> <li>Secondary shed or gable roofs over 1-story element</li> <li>Shaped Rafter tails</li> </ul>	   
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco</li> <li>Stone or adobe block accent at front elevation</li> <li>Large expanses of stone or brick veneer from base of wall to roof overhang</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Grid pattern on front and visible windows</li> <li>Trim around front and visible windows</li> <li>Paneled shutters at accent windows</li> <li>Precast or simulated pre-cast window trim</li> <li>Recessed windows</li> <li>Decorative shutter hardware</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Decorative metal elements</li> <li>Arch or flat soffit arch above entry</li> <li>Tower elements</li> <li>Covered entry or porch</li> </ul>	



## Craftsman/Bungalow

The Craftsman architectural style has influences from the English Arts and Crafts movement of the late 19th century and was stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena. Craftsman combines hip and gable roof forms with wide, livable porches, and broad overhanging eaves.

Built-in elements define this style with details such as windows and porches treated as furniture. The horizontal nature is often emphasized by exposed rafter tails and knee braces below broad overhanging eaves and rustic texture building materials. Together, these treatments create a natural, warm, and livable home with artful and creative character. Variations and divergences in expression are common, especially between the Northern and Southern California influences.





Elements	Typical Characteristics	Images
<b>Mass</b>	<ul style="list-style-type: none"> <li>One- and two-story massing with covered porches</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Main gable roof</li> <li>3.5:12 to 5:12 roof pitch</li> <li>12" to 24" overhangs at rakes</li> <li>Flat concrete tile or other material with shingle appearance</li> <li>Shaped outlookers</li> <li>Exposed rafter tails</li> <li>Intersecting gable element</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco</li> <li>Lap or shingle siding with stucco accents</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Grid patterned upper half at front and visible windows</li> <li>Trim around front and visible windows</li> <li>No shutters</li> <li>Lap or shingle siding</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Decorative use of cross beams, braces, and rafter tails;</li> <li>Porches often feature tapered columns and pilasters;</li> <li>Brick or stone elements visually anchor the building mass to the ground plane.</li> <li>Garage door with Craftsman style windows</li> </ul>	

## California Ranch

The Ranch architectural style originated in the United States and is generally noted for a long, close-to-the-ground profile, and minimal use of exterior and interior decoration. Ranch combines modernist ideas and styles with the American Western period working ranches to create casual, informal living style.

First built in the 1920s, Ranch was popular with the post-war middle class from the 1940s to 1970s. Mostly built as single story homes, there are two story variations.

Common features include simple and open floor plans, attached garages, large windows and sliding glass doors that open to a patio, large overhang eaves, vaulted ceilings with exposed beams, cross- or side-gabled and hip roofs, and simple, rustic trim. They often incorporate board and batten siding, dovetails, large eaves, and extensive porches.

Elements	Typical Characteristics	Images
<b>Roofs</b>	<ul style="list-style-type: none"> <li>■ Gable or hip roof</li> <li>■ 3.5:12 to 5:12 roof pitch</li> <li>■ Asphalt/composite shingles</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>■ Wood, stucco, or plaster exterior walls</li> <li>■ Stone, brick, or other accent materials especially along the front facade at the base and near the entrance</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>■ Trim around front and visible windows</li> <li>■ Grid patterned</li> <li>■ Shutters as accent</li> <li>■ Dormer windows</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>■ Front porch or patio</li> <li>■ Roll-up style garage door</li> <li>■ Wood corbels</li> <li>■ Wood detailing</li> <li>■ Use of horizontal or vertical siding</li> <li>■ Use of shingled siding</li> </ul>	

## American Cottage/Farmhouse

Cottage is a picturesque style that evolved from the Tudor and Norman domestic architectural styles. The cottage style became extremely popular after the adoption of stone and brick veneer techniques. Overall shapes and forms include variation of one and two story asymmetrical facades. Most recognizable and distinct features of this style are the stucco and wood or half-timber accents in the gable end.

American Traditional is a combination of several themes including styles such as Georgian Revival, Cape Cod, New England Colonial and Farmhouse. Characteristic elements of this style are windows with wood shutters, the use of brick veneer and/or wood siding and heavy trim above doors and windows. Combined one and two-story massing with single story elements and gabled roofs with dormered windows are classic variations of this style.

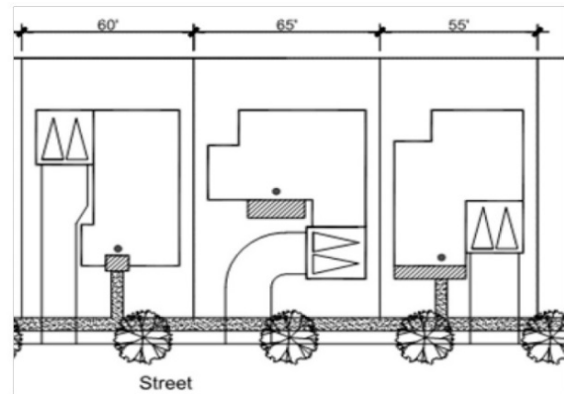
Elements	Typical Characteristics	Images
<b>Massing</b>	<ul style="list-style-type: none"> <li>Rectangular or asymmetrical massing with some recessed second floor</li> <li>Breaks in massing</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Main hip or gable roof with at least one intersecting forward gable or hip roof</li> <li>5:12 to 12:12 roof pitch except min. 3.5:12 at 1-story roofs</li> <li>Tight to 6-inch overhangs at rakes</li> <li>6" to 12" overhangs at eaves</li> <li>Flat concrete tile or composition shingles</li> <li>Distinctive roof over entry</li> <li>Use of Dormers.</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco or wood siding</li> <li>Stone accents on front elevation</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Grid patterned at front and visible windows</li> <li>Trim around front and visible windows</li> <li>Plank shutters at accent windows</li> <li>Wood shelves at window sills</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Covered entry/porch</li> <li>Front porch with wood-like or stucco columns</li> <li>Braces at wood-like columns</li> <li>Wood or wrought iron balcony railings</li> </ul>	



### 4.4.2 Architectural Design Criteria

The plotting of homes should be designed to achieve visual diversity and interest in the street scene through varying setbacks, articulated building massing, or enhanced elevations on residences plotted on corner lots. To help achieve dynamic street scenes the following architectural style, plan and color scheme requirements shall be met:

- A minimum of two (2) plans, three (3) elevations and three (3) color schemes for neighborhoods up to 70 homes.
- A minimum of three (3) plans and three (3) elevations and four (4) color schemes for neighborhoods up to 150 homes.
- No identical single-family detached plans and elevations are permitted side by side or directly facing each other across (except in a motorcourt development scenario.)
- Reverse footprints of identical plans are allowed adjacent to one another, provided each has a different elevation and color scheme.
- The two houses on either side of a specific lot must all use different color schemes than that specific lot.



*Example of variable setbacks and lot width within a single-family detached product.*

### 4.4.3 Site Planning and Orientation

- Building setbacks should vary depending on product type and location. In general, a variable front yard setback is encouraged along the street within a block.
- Variable lot width provides a more interesting street scene and efficient use of the land. Therefore, variable lot widths within an individual product line are encouraged, but not required. This allows large units to be plotted on wider lots and smaller units on narrower lots.
- Buildings should be designed so that living activities are oriented towards the street and architectural detail and interactive architecture, including porches, courtyards, entries, and windows, are emphasized.
- Architecture and site design shall respond to the regional climate by providing indoor-outdoor transitional spaces. Deeply covered, shaded, and protected areas create visual depth and interest while providing shelter and appropriate pedestrian scaled spaces for the public. A selection of the following features shall be utilized to provide meaningful outdoor spaces:
  - Porches, patios, verandas, courtyards, and gardens that accommodate outdoor seating areas or enhance entries.
  - Trellises that create a covered walkway to protect pedestrians from the sun, and provide aesthetic relief and a pedestrian scale to larger buildings.

- Deep overhangs that provide shade and protection, but only used when appropriate to the architectural style and character of the structure.
- Awnings that cover entries or windows. Awnings shall be no longer than a single window and shall be of a style and color complementary to the architectural style and character of the building.
- Loggias that provide covered seating/gathering areas.
- Garages should be plotted next to garages and living space next to living space where feasible to undulate the street pattern and improve opportunities for on-street parking.
- Orient homes adjacent to perimeter streets to avoid long expanses of block walls adjacent to the rights-of-way. Unrelieved walls should not be the primary street view.



#### 4.4.4 Massing and Architectural Enhancements

- Varied building setbacks should be used when possible to provide articulation and functional features such as entrances, courtyards, outdoor dining or seating areas, etc.
- Bay windows, stepped buildings, height changes, and setback variations are encouraged between buildings to break up large buildings and create attractive, interesting entries and facades.
- Architectural elements such as windows, gables, arcades, awnings, and other similar features shall be used to break up the massing of large buildings.
- Corner lot homes and those that are visible from streets, trails, outdoor gathering spaces, parks and open spaces, and parking areas shall be articulated to improve the design quality. Publicly visible facades shall include many of the following elements/treatments:
  - Wrap-around porches or courtyards
  - Change in plane for roofs and walls;
  - Change in colors, textures, materials, or masonry patterns;
  - Stylized and/or recessed face, windows, or doors;
  - Upper floor step-back;



*Architectural features, detailing, and streetscape scene.*

- Overhanging roof eaves, porticos, awnings, canopies, lattice, or grates;
  - Columns, posts, or tower elements;
  - Three-dimensional expression lines, cornices, or roof parapets;
  - Ribs or pilasters;
  - Piers and fenestration pattern;
  - A tree or other prominent and decorative landscaping features; and
  - An equivalent element that subdivides the wall into human scale proportions.
- Completely blank side and rear building facades are not permitted. These facades should include articulating elements such as windows, columns, changes in wall texture or color, change in wall plane, or other design feature that breaks up the mass of the building. The level of articulation of side and rear facades, especially those with limited public visibility, may be less than that of the front facade, but they shall not be devoid of articulating elements altogether. Four-sided architecture is encouraged.

### ***Windows and Doors***

- Windows should be proportional to the facade and reflect the architectural style and character of the building.
- Window size and shape should provide a balanced relationship with the surrounding roof and walls.
- Accent shutters are encouraged (as appropriate to the architectural style of the building). Accent shutters shall be proportional to the window opening to appear functional. Shutters should be placed adjacent to the window frame in a manner that doesn't look "tacked on" or fake.
- Windows should further enhance, not dominate, the overall architectural character. Large unbroken expanses of glazing should be avoided.
- Energy-efficient windows are required.
- Operable windows are strongly encouraged, to provide natural ventilation and to enhance the indoor-outdoor relationship.
- Accent entry doors, traditional French doors, arched windows/doorways, shutters, pot shelves and window boxes, accent trim, and glass sliding doors are strongly encouraged, as appropriate to the architectural style.
- Windows with clear glazing are strongly encouraged. Dark tinted or reflective glass should be avoided.
- Architecturally compatible relief detailing is encouraged on entry doors.
- Upper story windows that are visible from streets, walkways, parks, and common open spaces shall be designed with window trims and grids that match the front elevations of the structure.

### ***Materials, Colors, and Finishes***

- A variety of high-quality, durable colors must be provided to create interesting and attractive building designs and avoid monotony.



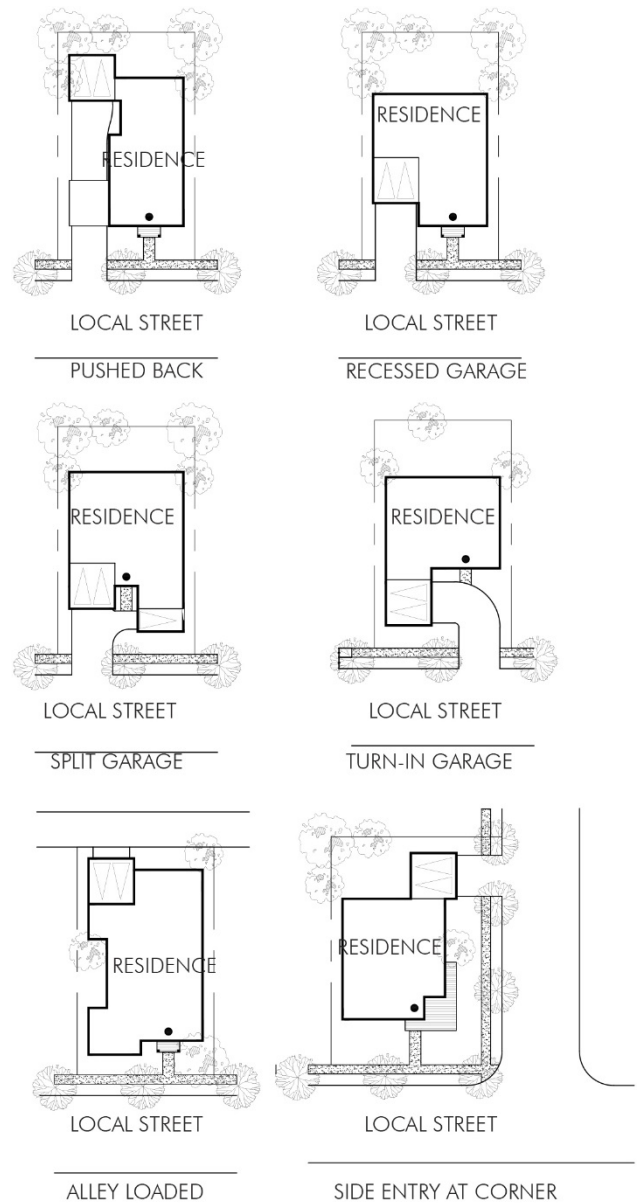
- Exterior colors and materials should be used to define the building form, details, and massing.
- When plotting the same floor plan immediately adjacent to and/or across the street from one another, a different elevation style should be used. Exterior color schemes should be varied for adjacent units with the same elevation style.
- When multiple buildings proposed, a minimum of two color schemes should be provided for each architectural style. In general, each color scheme should have 1 or 2 complementary main colors and up to three (3) complementary accent colors that are appropriate for the architectural style and character of the building.
- Materials and colors used on the front facade shall be wrapped along the side facade to an inside plane or to an appropriate transition point several feet beyond the front elevation to avoid the appearance of false facades.
- Decorative elements shall be used to break up the plane of the facade and create visual interest. Encouraged decorative elements include shutters, exposed rafter ends, crossbeams, decorative grille work, decorative stucco, clay pipe vents, decorative ceramic tile, and other similar features that are appropriate for the architectural style and character of the building.
- Building details such as flashing, pipes, and metal vents may be used as an enhancement with complementary colors/materials or painted to match the building or roof surface so as to virtually disappear.
- The natural color of brick, stone, and tile should be utilized.
- Green materials that withstand local environmental conditions are strongly encouraged, including recycled-content carpet, cellulose insulation, engineered lumber, certified wood, natural floor coverings, and recycled-content interior finishes.
- Low and no volatile organic compound (VOC) paint and finishes are required.

### ***Roofs***

- Roofs must be constructed of high-quality, durable roofing materials and colors that are consistent with the architectural style of the building. Acceptable roofing materials include clay tile, and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, and asphalt roll roofing or shingles.
- A variety of roofing forms, pitches, slopes, details, and high-quality, durable materials should be used on buildings, and shall be compatible with the overall style and character of the building.
- The front elevation for each plan should have a unique secondary roof framing appropriate to the architectural style of the plan.
- Roof heights shall be varied to create visual interest and avoid monotony.
- Gable ends should be separated so they are not located adjacent to each other.
- Roof colors and materials that meet or exceed Title 24 requirements shall be used to reduce the heat island effect.
- Rooftop solar panels, solar films, small-scale wind turbines, and other similar features may be used to generate energy.

## Garages

- Garages may be attached or detached to provide variety between floor plans.
- Garage placement shall be varied to avoid monotony. Architecture design shall vary the placement and orientation of garages. Variations include:
  - Rear-loaded garages accessed via a rear alley;
  - Garages recessed behind the front home facade;
  - Side-entry/Swing-in garage; and
  - Side drive garage (attached or detached).
- Garages must be recessed into the wall plane to provide shadowed relief.
- Multi-paneled roll-up style garage doors are strongly encouraged.
- Garage door patterns and colors should be varied between units.
- A combination of single and double car garage doors are encouraged to provide variety.



*Typical garage location configurations.*

## 4.5 Commercial Guidelines

The following sections detail criteria related to the architectural styles, design elements, materials, and other applicable architectural features appropriate for commercial development within the KPC Specific Plan area. Commercial development within the plan area will include a different commercial settings, including traditional shopping and entertainment centers and both vertical and horizontal mixed-use associated with residential development.

The intent of these guidelines are to provide the framework for high-quality architectural development within the plan area. Commercial development trends will continue to change as the increase in technology and accessibility to goods via the internet and delivery effects buying habits of consumers. These guidelines intentionally provide flexibility so as not to limit the creativity of future development and allow the intent of the guidelines to remain relevant and responsive to future commercial development trends.

#### 4.5.1 General

- The placement and design of retail/commercial buildings should convey a physical and visual link to the streets, sidewalks and plazas. Primary entries and windows should front onto these spaces, be easily identifiable and inviting.
- In conditions where retail/commercial and office uses are within the same building, office uses shall be primarily on the second floor with retail/commercial on the first floor. In conditions where residential uses are included in the same building as the other uses referenced above, residential uses shall be on the top most floors.
- Buildings should frame plaza spaces. Decorative awnings, covered walkways and other appropriate façade elements that add variety and interest should be incorporated onto the front façade of buildings facing onto commercial plaza spaces.



*Building edges should create open space areas that complement the building use with outdoor seating, landscaping, and other amenities.*

- Commercial site planning should provide passive open space with flexibility and opportunities for café tables, seating, social gatherings, special events, street performances, etc. Fountains, sculptural elements, banners and thematic signage/lighting and/or public art are encouraged.
- Parking lots should be to the rear of the buildings with strong pedestrian links to the storefronts and public plazas.
- Pedestrian paseos extending between buildings linking parking lots to sidewalks, plazas and public spaces should be a minimum of ten (10) feet wide, partially covered (trellis-like) or open, well lighted and treatments and landscape. Such areas may also be app



*Separated sidewalks within parking lots increase safety for pedestrians.*

- Pedestrian paseos should be straight with clear “through visibility.” Store entries and shop windows are encouraged along paseos.
- Strong pedestrian links/paseos should be provided from the commercial areas to adjacent residential neighborhoods.
- Live/work residential opportunities should be incorporated into edges facing retail or office areas. Residence space shall be located on the top floor. Retail/commercial/office uses should be located on the ground floor level with frontage onto public sidewalks and plazas. Private enclosed garage space for the residents should be located away from the “public” side, either to the rear or underground. The live/work units may be incorporated into a larger project, or may be separate from other uses.



### 4.5.2 Architectural Character

- Consistency of architectural character, form, detail and scale should be clearly evident in the design and execution of all buildings in the retail/commercial portion of the commercial centers.
- Prominent and/or unique architectural elements should be positioned as the terminal focal points as viewed from roundabouts and the approaches along all streets leading to the roundabout.
- One- and two-story building massing should occur. False second-story elements may be incorporated to provide for the variation in building massing and reinforce the enclosure of public spaces and plazas.
- Tower elements or other monumental features (within the allowed building heights specified in Section 3, Development Regulations) are strongly encouraged at focal points such as corners, plazas, major entrances, or where walkways meet sidewalks. All elevations of a tower element or monument feature shall be completely constructed, with no blank walls or partially finished sides.
- Consideration should be given to locating the second floor façade behind the setback from the first floor façade to provide relief in the building plane and provide for outdoor covered walkways, balconies, etc.
- Large storefront windows are encouraged for neighborhood commercial uses to encourage pedestrian activity.
- Accent materials such as stone and brick, accent colors, door and window details, and other architectural enhancements should occur along the first floor/pedestrian level and along all publicly visible facades.
- Retail/commercial buildings fronting arterial streets, should have a high level of architectural detail and enhancement. A strong building base should be created through the use of cornices and ground floor massing.
- Rear facades facing onto parking lots should be enhanced to address the retail use within. Rear entrances to shops, where provided, and pedestrian paseos passing through buildings from the rear parking lots should be architecturally enhanced, easily visible and inviting.
- Storefront signage is required along rear facades facing onto parking lots and/or public spaces (as well as front facades facing streets and plazas).



*Prominent architectural features can help with massing, wayfinding, and increase aesthetic interest.*

### 4.5.3 Commercial Building Orientation

- Building orientation for commercial and mixed-use land uses can take multiple forms depending upon the adjacent or facing land use. Where commercial uses abut residential uses, this may take the form of a driveway or local street, or directly abutting low or higher density residential properties.
- Commercial spaces should be oriented for maximum visibility from streets to attract potential customers and support long-term viability.
- Buildings should be located adjacent to walkways, sidewalks, plazas, and other pedestrian spaces, while maintaining adequate visibility at vehicle driveways for motorists to see pedestrians.
- Parking setback in conjunction with streetscape plantings will create a landscaped edge and enhance the pedestrian experience.
- Windows and entries should face the street or other public space to encourage pedestrian activity.
- Walkways and landscaping shall be designed along buildings without direct street frontage to create a "street scene" where there is no street.
- Massing elements (e.g., tower features) are strongly encouraged to anchor corners or entries.
- Architectural details shall be applied to rear and side facades facing streets and other public spaces to avoid blank walls that could dominate public views.
- Restaurants
- Location and design should create or take advantage of gathering areas.
- Outdoor seating areas with tables, chairs, umbrellas, potted plants, trellises and other design features are strongly encouraged.
- Outdoor seating areas should be located and designed to be publicly visible.
- Franchise or chain restaurants should be designed to reflect the overall architectural style and character of the building or commercial area.



*Landscaping and outdoor features should complement building architecture and massing.*



#### 4.5.4 Drive-through and Drive-up Uses

- The design of drive-up or drive-through facilities, whether attached or freestanding, shall reflect the architectural style and character of the building or commercial area, including colors, materials, and architectural design elements.
- The location and orientation of such facilities shall not detract from the building aesthetic, but shall be located to minimize view from sidewalks, walkways, and other public views.
- Sufficient aisle lengths shall be provided to prevent interference with street traffic and onsite circulation routes, based on a queuing analysis prepared at the time of design review.
- Outdoor ordering systems shall be located to direct sound away from residential uses and common areas, or otherwise minimize noise impacts to these uses.
- Outdoor eating areas are encouraged. Outdoor eating areas should provide details such as low walls, trellis elements, furniture, umbrellas/awnings, refuse area placement, etc.



*Drive-through lanes shall accommodate appropriate vehicle stacking based on the specific use*

#### 4.5.5 Resort and Entertainment Venues

Buildings will have visual pedestrian and vehicular identity and connectivity. Design of these features may include the use of:

- Focal points, including water features, art pieces, and/or lighting
- Iconic architectural structures
- Signature landscape planting
- Buildings visible from the public street shall integrate the architectural design and vocabulary with the character of non-residential development within KPC Coachella.
- Additional guidelines for hotel buildings include:
  - Windows, where applicable, shall be integrated as design elements including placement, size and/or trim elements.
  - Exterior materials, windows and details shall be consistent with the scale and proportion of the building.
  - Elements shall be proportional to the building mass and design vocabulary.
  - Color, materials, texture and detail palettes shall be integrated in a cohesive manner to elevate, not complicate, building design.



*Windows and other architectural details should complement the desired architectural style.*



- Building orientation, parking and walkways should be designed to foster and serve intuitive access and circulation.
- Building and site entries should be designed to have intuitive and direct travel routes.
- Pedestrian routes shall be provided and clearly marked providing travel paths from parking areas to buildings.
- Appropriate loading and service areas shall be provided for each building/tenant.
- Service and loading areas should be positioned away from primary circulation and street frontage.
- Service and loading areas should be shielded with architecture or landscape, where possible.

#### 4.5.6 Assisted Living and Medical Uses

Modern medical offices and larger medical campuses provide green, clean, peaceful, and safe environments. To achieve this balance, a variety of site planning factors must be considered, including building setbacks and orientation; building entries; and service areas.

- Orient buildings toward a primary street frontage or central open common area.
- Create a proper scale and character that avoids an “institutional” environment, with articulated forms, varying roof heights and wall planes and/or material/color variation.
- Incorporate peaceful open space areas, pathways and seating areas into the site design.
- Incorporate considerable landscaping, particularly in parking lots to promote pleasant views from inside the building(s)
- Buildings should have a clearly identified base midsection, and top. The base should be designed to be pedestrian in scale.
- Parking structures should be architecturally compatible with the building(s) served.
- The facade of a parking structure facing a public street, driveway, open space, or other public space shall Figure a high level of architectural detail such as decorative grill work, overhead trellises, planters, pedestrian scaled lighting, and the use of materials and textures that complement the campus character and create a comfortable and friendly environment.



*Office building should match the existing character of the surrounding uses.*



*Usable open space is an important element of assisted living facilities.*

- Provide convenient, covered drop-off/pick-up space at primary building entrances.
- Where possible locate these uses near transit stops and service commercial uses.
- Provide weather protection from rain, sun, and wind through architecture and landscaping.

## 4.6 Landscape Guidelines

### 4.6.1 Landscape Master Plan

#### *Purpose and Approach*

The KPC Coachella Specific Plan includes a generous network of parks, paseos, multi-use trails, and promenades. In addition, the project includes a variety of recreational facilities that provide outdoor opportunities for exercise, community gathering, and play. These are all major components of the overall community design and form the heart of the community. They provide an important aesthetic element, enhance community gathering places, encourage passive and active recreation, and enable the use of alternative transportation including biking, walking, and horseback riding.

Landscaping throughout the project site will be compatible with the character of the Coachella Valley, with specific goals to include:

- A planting and irrigation program that employs water conservation measures through use of drought-tolerant plant material, water-conserving irrigation systems and practices, and the use of reclaimed water if and when it becomes available.
- A landscape program that reinforces the principles of Low Impact Development (LID) for storm drainage, water infiltration and groundwater recharge for the project.
- A well-maintained landscape program that defines and projects a quality community image and attracts new residents and visitors.
- A landscape program that appropriately screens parking lots, trash enclosures, delivery areas, equipment buildings, and other similar elements from public views.
- A landscape plan for parks and recreation areas that provides appropriate activities and facilities provides shade, and adds color and texture.
- A vibrant streetscape plan that reinforces the sense of place and creates transportation corridors that are aesthetically pleasing and provide a comfortable environment for alternate modes of transportation to connect and co-exist.
- Encourage the use of edible plant materials in common open spaces.

Figure 4-1, *Landscape Master Plan*, illustrates the streetscape, greenspace, and community monumentation for KPC Coachella.



*Porte cocheres and covered entrances enhance the primary entrance of the building and provide covered waiting areas for pick-up/drop off.*

#### 4.6.2 General Landscape Guidelines

The project's landscaped open spaces will be the backbone of the community and will establish KPC Coachella as an active community for people of all ages.

Final landscape concept plans and construction plans for community entry treatments, streetscapes, park and open spaces and edge/buffer treatments shall be prepared by a licensed landscape architect and are subject to review and approval by the City.





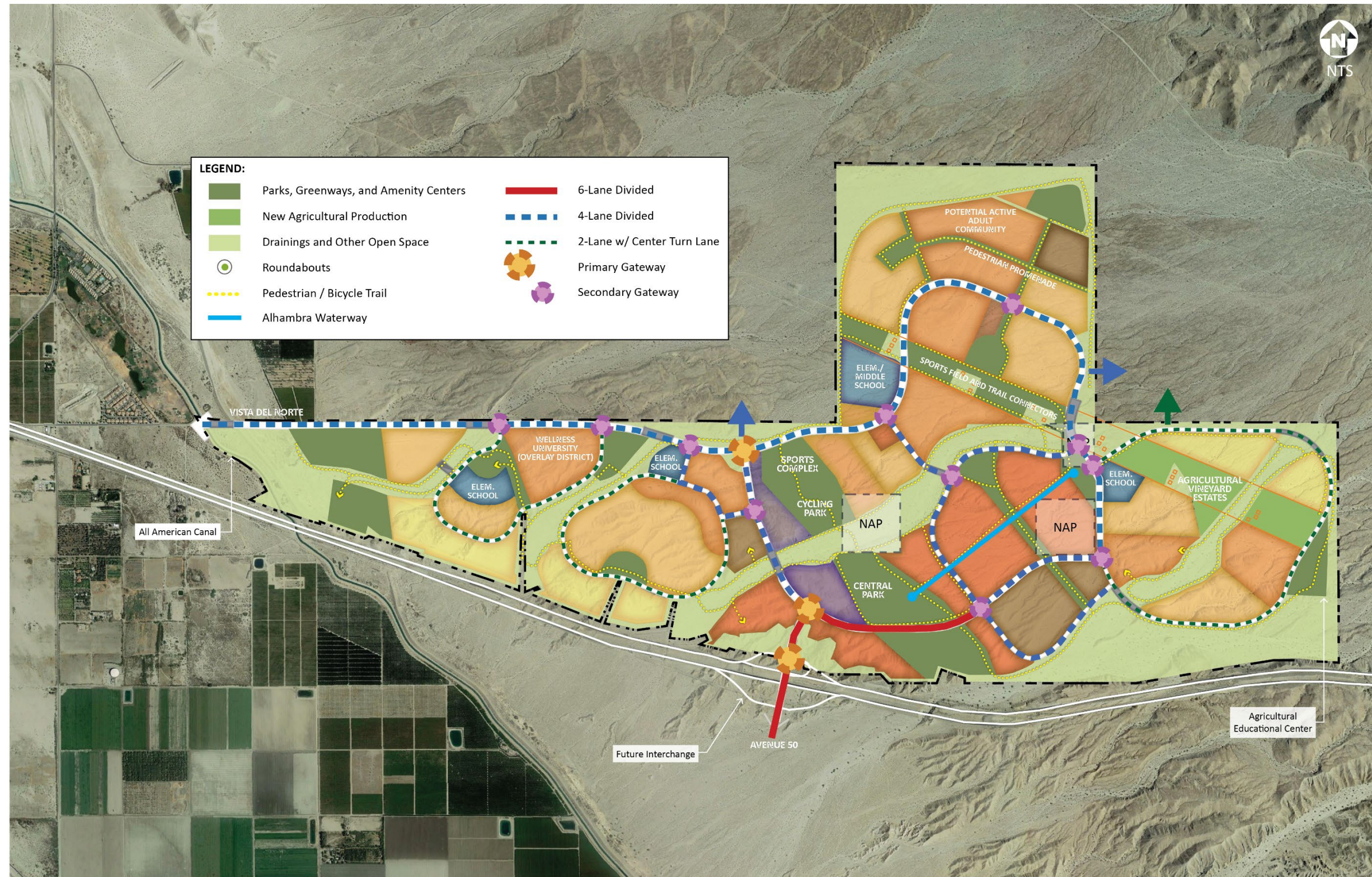


FIGURE 4-1: LANDSCAPE MASTER PLAN





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The following guiding principles set the general direction for design of landscaped spaces within the KPC Coachella Specific Plan area.

- The recommended plant palette includes both native and adaptive species of trees, shrubs, and ground cover. “Low” to “very low” water demand, hardiness, functionality, and aesthetics are all important factors when specifying plant materials by species (spp) (i.e. allowing a variety of types of that general plant). Selection of native varieties should be prioritized within the plan area.
- Plants with similar water use needs shall be grouped together in distinct hydrozones, and where irrigation is required, shall be irrigated in separate zones to decrease unnecessary water use.



*Drought tolerant plant material should be used in all open spaces. Use of turf should be minimized.*

- High water use plants shall be discouraged and, where use is necessary, shall not be mixed with low or moderate water use plants.
- All non-turf plants shall be selected and planted appropriately based upon their adaptability to the climatic, soils, and topographical conditions within the project site.
- Specimen trees and shrubs with unique form and color are encouraged in prominent locations to create focal points throughout the community.
- Known invasive plants are prohibited within the project area, and in particular in areas adjacent to natural open space and drainage corridors.
- Where trees are planted adjacent to paving (sidewalks, parking areas), consideration shall be given to selection of trees with non-invasive surface roots, and for trees that are selected, provisions shall be made to install root barriers or equivalent devices to protect paving.

### **Limited Turf Areas**

Turf areas shall be limited and should not be planted in the following conditions:

- Slopes exceeding 10%.
- Planting areas four (4) feet wide or less.
- Street medians, traffic islands, planter strips, bulb-outs of any size, or other areas where foot traffic is not expected should not contain turf.
- Turf areas shall be limited to areas of lawn that are necessary for certain active recreational purposes and active pedestrian use, such as parks and recreation centers. In areas that will not receive active foot traffic, such as along major streets or other common planting areas within the project, landscaping should rely primarily on native or adaptive grasses or drought-tolerant trees, groundcovers, and/or shrubs.



*Grasses should be kept to specific recreational areas.*



- Within individual residential lots and other landscaped areas (such as the recreation area), use of turf shall be limited to an aggregate area no greater than 25% of the total planted area within each lot or parcel.

### ***Water Conservation***

- Streetscapes will utilize desert-adapted and native plant materials to minimize irrigation needs. Landscape concepts will utilize permeable materials such as decomposed granite and rocks/cobble to reduce irrigation demands.
- All planting areas will be irrigated with a high-efficiency automatic irrigation system.

### ***Utility Placement***

- Utility boxes should be grouped where possible and placed in landscape easements and shrub/groundcover areas. Boxes should not be placed in lawn areas unless absolutely necessary.
- Above grade utility boxes should be screened and planted to the extent possible while allowing required access and clearance, and providing for adequate sight distance if located near intersections.

### ***Slopes***

- Slopes should be irrigated separately from level areas on dedicated valves.
- 2:1 slopes must be covered with jute mesh or other soils stabilizing materials.
- Turf should not be used on slopes in excess of (steeper than) 3:1.
- The community shall be irrigated with reclaimed or recycled water wherever possible.

### ***Plant Materials***

- The project's plant palette incorporates native and adapted trees, shrubs, and groundcovers to provide a pleasing landscape character. These plant palettes are in Table 4-2, Plant Palette.
- All plantings within the community will be selected from the palette of plants listed in this document or as modified in subsequent private builder level Design Guidelines (if provided) with final landscaping plans subject to approval by the City of Coachella as part of design/site plan review.
- Landscaping within KPC Coachella must be designed in substantial conformance with this Specific Plan.
- Non-toxic, non-invasive, drought tolerant vegetation will be utilized adjacent to all public open space areas except for limited turf areas within active parks.



*Native plant material should be combined with decomposed granite and gravel materials.*

- The master Developer or individual builders will install all entry improvements concurrently with the street on which they front.

### 4.6.3 Streetscape

Streetscape design is an integral component for creating community identity. The overall streetscape design goal for the KPC Coachella community is to create a healthy, efficient, and walkable community that promotes sustainable landscaping practices, strong pedestrian, bicycle and NEV connections, and an exceptional quality of life. The primary elements associated with streetscapes within the plan area consist of:

- Pedestrian and multi-use walkways/sidewalks,
- street trees,
- landscaped buffer areas adjacent to the sidewalk,
- landscape setbacks, and
- median islands where they occur.

The intent of the following streetscape design guidelines and plant lists is to provide flexibility and diversity in plant material selection while still maintaining an overall community theme. Final plant material selections will be determined and reviewed as part of the design review process.

Streets within the Specific Plan area will be more than just circulation routes; they will also serve as community amenities, gateway and neighborhood identifiers, and a source of shade and recreation. Street landscaping will maximize shade with trees, thereby reducing heat island effect and increasing the overall aesthetic appeal and comfort for bicyclists and pedestrians.

- Streetscape design will reflect the circulation hierarchy, while enhancing the overall sense of place. Proposed landscape design should reflect the local setting and the desired community character while using native and drought-tolerant species. To the extent feasible, native species should be used.
- The proper use of trees, shrubs, and groundcovers along the collector and arterial streets is critical to the success of the Specific Plan area. Landscape planting will define the overall community character for many years to come. Streetscapes shall be designed to enhance the vistas throughout the community, while creating parkways for the enjoyment of residents and visitors.
- Trees should be planted to maximize shade along trails within the project.
- Planting themes are based on local and regional standards for streetscape design and local climate. The proper mix of palms, evergreen and deciduous trees, shrubs, and groundcovers shall provide quality environments for all seasons.



Below are general descriptions of the various landscape treatments for streets within the Specific Plan area.

### ***6-Lane Arterial***

6-lane arterial roadways are found at the entrance to the Specific Plan area via the Avenue 50 interchange. As much of the traffic that feeds into the Specific Plan area is anticipated to go into the entertainment, mixed-use, and higher density housing areas within Village B, these roadways are sized to facilitate the efficient movement of traffic to those uses. Refer to Figure 4-2, *6-Lane Arterial Streetscape*, for typical streetscape concepts associated with arterial roadways. Table 4-1, *Arterial Streetscape Plant Palette*, lists the typical plant materials associated with 6-lane arterial roadways within the plan area.

#### **Avenue 50 Streetscape**

Avenue 50 is a 6-lane arterial roadway that will serve as the primary entry point to the community. Avenue 50 will provide access to the community from Interstate 10 freeway as well as from the future La Entrada community to the south. The streetscape landscape design along the Avenue 50 corridor will establish a consistent and strong visual identity for the project, continuing the established design theme along Avenue 50.

#### **C Loop (between Avenue 50 and G Street)**

A portion of C Loop from Avenue 50 to G Street is also designated as a 6-lane arterial and will move traffic from the primary entrance along Avenue 50 through the primary mixed used and entertainment center and into to eastern portion of the plan area.

The following guidelines illustrate the future character of both Avenue 50 and the designated portion of C Loop:

- The design approach for the parkways will present a grand entrance through the uses of a mixture of palms, flowering canopy trees, and smaller accent trees and shrub material. To illustrate the desert environment, plant material may be combined with rock outcroppings, rolling mounds, and massed native plantings within the medians.
- Adjacent to the pedestrian walkway, canopy trees will provide shade for pedestrians and create an pleasant, walkable condition. Where appropriate, a variety of drought tolerant and native shrubs, grasses, groundcovers, and vines should be used to soften the community theme walls, where present, and to deter graffiti.
- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.
- The design for the parkways and medians will look as one design and incorporate decomposed granite and native, or equal, angular cobbles and boulders.

**TABLE 4-1: ARTERIAL STREETSCAPE PLANT PALETTE**

**Canopy Trees (24" box sizes)**

Tipuana tipu

Tipu Tree

**Palms (minimum 15 gallon)**



**TABLE 4-1: ARTERIAL STREETScape PLANT PALETTE**

Phoenix dactylifera	Date Palm
<b>Shrubs (5 and 1 gallon sizes)</b>	
Agave americana	Agave
Agave 'Blue Flame'	Agave
Agave parryi	Agave
Agave vilmonana	Agave
Acacia 'Desert Carpet'	Desert Carpet
Bougainvillea 'Purple Queen'	Bougainvillea
Caesalpinia pulcherima	Dwarf Poinciana
Carissa macrocarpa	Natal Plum
Juniperous 'Blue Chip'	Trailing Juniper
Lantana camera 'New Gold'	Shrub Lantana
Muhlenbergia species	Deer Grass
Pennisetum species	Fountain Grass
Oenothera speciosa	Mexican Evening Primrose
Rosa 'Flower Carpet'	Shrub Lantana
Yucca whipplei	Yucca

#### ***4-Lane Major Roadways***

4-lane major roadways are intended to carry traffic from the 6-lane arterial roadways to each of the individual planning areas and are the most prevalent roadways proposed within the Specific Plan area. These roadways form the backbone of the circulation network within KPC Coachella. Refer to Figure 4-3, *4-Lane Major Streetscape*, for typical streetscape concepts associated with major roadways. Table 4-2, *Major Roadway Streetscape Plant Palette*, lists the typical plant materials associated with 4-lane major roadways within the plan area.

#### ***Vista Del Norte***

Vista Del Norte provides access to the plan area from the west and an alternative outlet to the Interstate 10 freeway and the city center area via Dillon Road.

The following guidelines illustrate the future character of Vista Del Norte:

- The design approach for the parkways will create a sense of arrival through a mixture of flowering canopy trees, smaller accent trees, and shrub material. To illustrate the desert environment, plant material may be combined with rock outcroppings, rolling mounds, and massed native plantings within the medians.
- Adjacent to the pedestrian walkway, canopy trees will provide shade for pedestrians and create an pleasant, walkable condition. Where appropriate, a variety of drought tolerant and native shrubs, grasses, groundcovers, and vines should be used to soften the community theme walls, where present, and to deter graffiti.

- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.
- The design for the parkways and medians will look as one design and incorporate decomposed granite and native, or equal, angular cobbles and boulders.

#### F Loop and C Loop (excluding the section between Avenue 50 and G Street)

F Loop and C Loop (excluding the section noted above) make up the primary interior circulation loop within the plan area. These roadways pass through or run adjacent to each of the villages and work in tandem with internal multi-purpose trails, open space, and paseos to move people throughout the entirety of the plan area.

The following guidelines illustrate the future character of F Loop and the above designated portion of C Loop:

- Street trees and accent plant material will be consistent throughout the streetscape for these two streets to create a unifying appearance throughout the plan area. Unique accent trees or other architectural features may be used to distinguish the character of individual villages along both F and C Loop but should not detract from the overall consistent design aesthetic.
- Adjacent to the pedestrian walkway, canopy trees will provide shade for pedestrians and create an pleasant, walkable condition. Where appropriate, a variety of drought tolerant and native shrubs, grasses, groundcovers, and vines should be used to soften the community theme walls, where present, and to deter graffiti.
- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.
- The design for the parkways and medians will look as one design and incorporate decomposed granite and native, or equal, angular cobbles and boulders.

#### D Loop/G Street/B Loop (Between 1st and 2nd Street)/1<sup>st</sup>/2<sup>nd</sup>/3<sup>rd</sup> Streets

The remaining 4-lane major roadways listed above are all connector roads meant to facilitate the movement of vehicles and people further into the plan area.

The following guidelines illustrate the future character of D Loop, G Street, B Loop (Between 1st and 2nd Street), and 1<sup>st</sup>/2<sup>nd</sup>/3<sup>rd</sup> Streets:

- Where these roadways are used primarily to enter a residential village, the plant material shall be enhanced to denote the transition into an individual village area. These areas may utilize smaller palms or other ornamental plant material to accomplish that effect.
- These streetscapes will include formal rows of broadly spreading canopy trees to provide a continuous shade canopy for pedestrians and to instill an urban landscape character. A simple ground plane of low growing and flowering shrubs, grasses and ground covers adjacent to the pedestrian paths, and shrub masses should be used to soften the community theme walls, where present, and to deter graffiti.

- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.

**TABLE 4-2: MAJOR ROADWAY STREETScape PALETTE**

<b>Canopy Trees (24" box sizes)</b>		
Albizia julibrissin	Mimosa Tree	
Chorisia speciosa	Floss Silk Tree	
Ficus microcarpa	Indian Laurel Fig	
Jacaranda mimosifolia	Jacaranda	
Quercus virginiana	Southern Live Oak	
Parkinsonia aculeata	Palo Verde	Native Plant
Prosopis alba	Thornless Mesquite	Native Plant
Cercidium Spp.	Palo Verde	Native Plant
<b>Palms (minimum 15 gallon)</b>		
Butia capitata	Pindo Palm	
Phoenix dactylifera	Date Palm	
Syagrus romanzoffiana	Queen Palm	
Washingtonia filifera	California Fan Palm	Native Plant
<b>Shrubs/Grasses/Accents/Groundcovers</b>		
Agave Spp.	Agave	Native Plant
Acacia 'Desert Carpet'	Desert Carpet Acacia	
Artemesia Spp.	Artemesia	Native Plant
Baccharis 'Pigeon Point'	Coyote Brush	
Caesalpinia pulcherima	Dwarf Poinciana	
Calliandra californica	Fairy Duster	
Callistemon 'Little John'	Dwarf Bottle Brush	
Carex Spp.	Carex	
Carissa macrocarpa	Natal Plum	
Cassia Spp.	Cassia	Native Plant
Dalea pulchra	Indigo Bush	
Dasyllirion wheeleri	Desert Spoon	
Dodonea viscosa	Hopbush	
Lantana Spp.	Lantana	
Muhlenbergia Spp.	Deer Grass	Native Plant
Opuntia engelmannii	Prickly Pear	Native Plant
Penstemon eatonii	Penstemon	
Senna Spp.	Senna	



### ***2-Lane Collector (Secondary)***

Collector streets facilitate movement of vehicles to the individual neighborhoods and planning areas. Outside of travel lanes, collector streets are comprised of 8' landscape buffers/parkways, 6' sidewalks, and an additional 10' landscape setback on each side. Additionally, Class II on-street bicycle lanes connect multi-purpose trails with the overall transportation network. Refer to Figure 4-4, *2-Lane Collector Streetscape*, for typical streetscape concepts associated with collector streets. Table 4-3, *Collector Streetscape Plant Palette*, lists the typical plant materials associated with 2-lane collector streets within the plan area.

#### **A Loop (East and West)**

A Loop (East and West) provide access from Vista Del Norte to the individual residential neighborhoods and single elementary school within the western portion of Village A. Design emphasis for this streetscape will include continuous broad canopy street trees to provide shade and ornamental specimen trees at various points associated with special uses such as schools, parks, and community spaces.

#### **B Loop (Not between 1<sup>st</sup> and 2<sup>nd</sup> Street)**

B loop provides access to the eastern portion of Village A, which is primarily comprised of very low- to medium- residential uses and open space. Similarly to A Loop, the design emphasis along this section of B Loop will be to provide shade with continuous broad canopy street trees that promote a comfortable walking environment within the desert environment. The following guidelines illustrate the future character of A Loop and the above designated portion of B Loop:

- These streetscapes will include formal rows of broadly spreading canopy trees to provide a continuous shade canopy for pedestrians and to instill an urban landscape character. A simple ground plane of low growing and flowering shrubs, grasses and ground covers adjacent to the pedestrian paths, and shrub masses should be used to soften the community theme walls, where present, and to deter graffiti.
- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.

#### **E Loop (North and South)**

E Loop provides access to the primarily very low-density residential and agricultural production areas within Village E. This village is rural in nature, with larger lot single-family houses and large areas of agricultural groves creating more separation and a more natural character. The following guidelines illustrate the future character of E Loop:

- These streetscapes will have informal groves of broadly spreading canopy trees to provide a continuous shade for pedestrians and plant material that instills a more natural hillside landscape character. A simple ground plane of low growing and flowering shrubs, grasses and ground covers adjacent to the pedestrian paths, and shrub masses should be used to soften the community theme walls, where present, and to deter graffiti.

- Plant varieties are more transitional to desert varieties with quieter coloration, and should be placed in natural arrangements and include with the use of rock mulches, cobbles and boulders.
- For streets with 4% gradient or less: construct bioswales with native grasses and street trees if feasible. For streets greater than 4% gradient: construct raised curb and gutter on street side with landscape planter and street trees if feasible.

**TABLE 4-3: COLLECTOR STREETScape PALETTE**

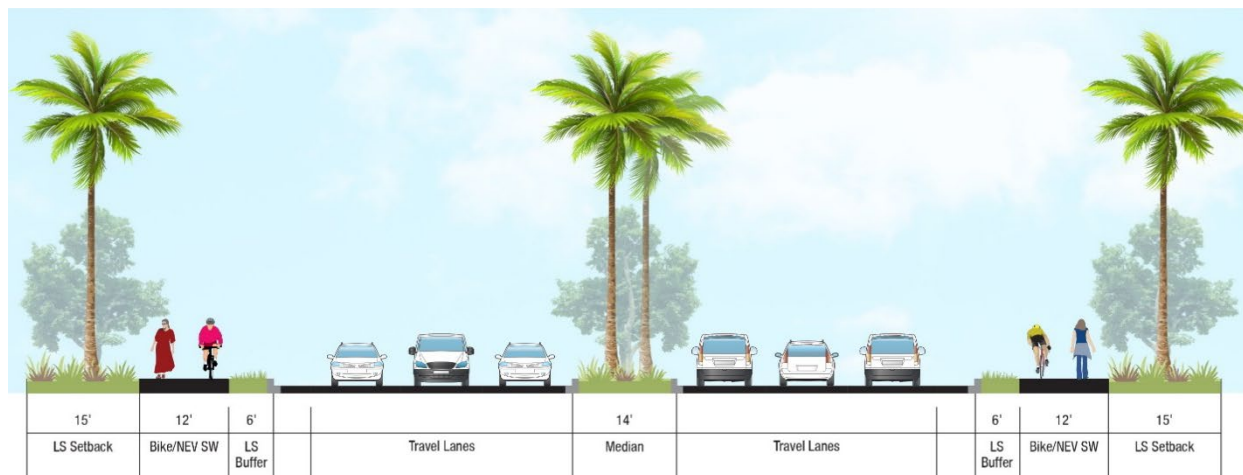
<b>Trees (24" box sizes)</b>		
Ficus microcarpa	Indian Laurel Fig	
Jacaranda mimosifolia	Jacaranda	
Prosopis alba	Thornless Mesquite	Native Plant
Quercus virginiana	Southern Live Oak	
<b>Palms (minimum 15 gallon)</b>		
Phoenix dactylifera	Date Palm	
Washingtonia filifera	California Fan Palm	Native Plant
<b>Shrubs/Grasses/Accents/Groundcovers</b>		
Agave Spp.	Agave	Native Plant
Artemesia Spp.	Artemesia	Native Plant
Acacia 'Desert Carpet'	Desert Carpet	Native Plant
Bougainvillia Spp.	Bougainvillia	
Caesalpinia pulcherima	Dwarf Poinciana	
Calliandra californica	Fairy Duster	
Callistemon 'Little John'	Dwarf Bottle Brush	
Carex Spp.	Carex	
Cassia Spp.	Cassia	Native Plant
Dasyilirion wheeleri	Desert Spoon	
Lantana 'New Gold'	Lantana	
Muhlenbergia Spp.	Deer Grass	Native Plant
Penstemon eatonii	Penstemon	Native Plant

Local roads provide access throughout residential neighborhoods. Refer to Figure 4-5 and 4-6, *Local Street Streetscape*. Streetscapes along local roads within the KPC Specific Plan area consist of a landscape parkway and pedestrian walkway that provides a physical barrier between pedestrians and vehicles and defines the street through the use of established trees, shrubs, and groundcover elements. Refer to Figure 4-5 and 4-6, *Local Street Streetscape*. Street trees with a minimum size of 15 gallons will be planted within all residential projects as follows:

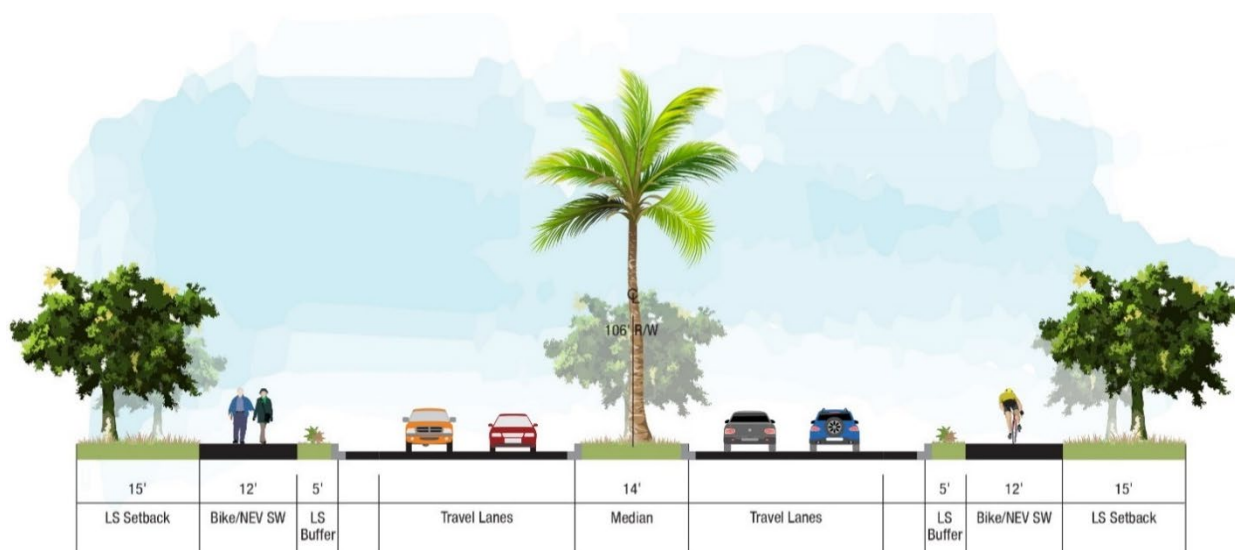
- Cul-de-sac Lot – One tree per street frontage.
- Interior Lot – Two trees per street frontage.
- Corner Lot – Three trees per street frontage.

A detailed landscape plan will be required for each development as part of design/site plan review that includes a comprehensive local streetscape concept and plant palette. Plant selection is at the discretion of the Developer. Developers should reference the City's landscape guidelines and Coachella Valley Water District's approved plant list when determining plant material for local streets. Street trees and other plant material selected should vary from street to street when possible and create a unique sense of place for each local street within a residential neighborhood.





**FIGURE 4-2: 6-LANE ARTERIAL STREETSCAPE**



**FIGURE 4-3: 4-LANE MAJOR STREETSCAPE**

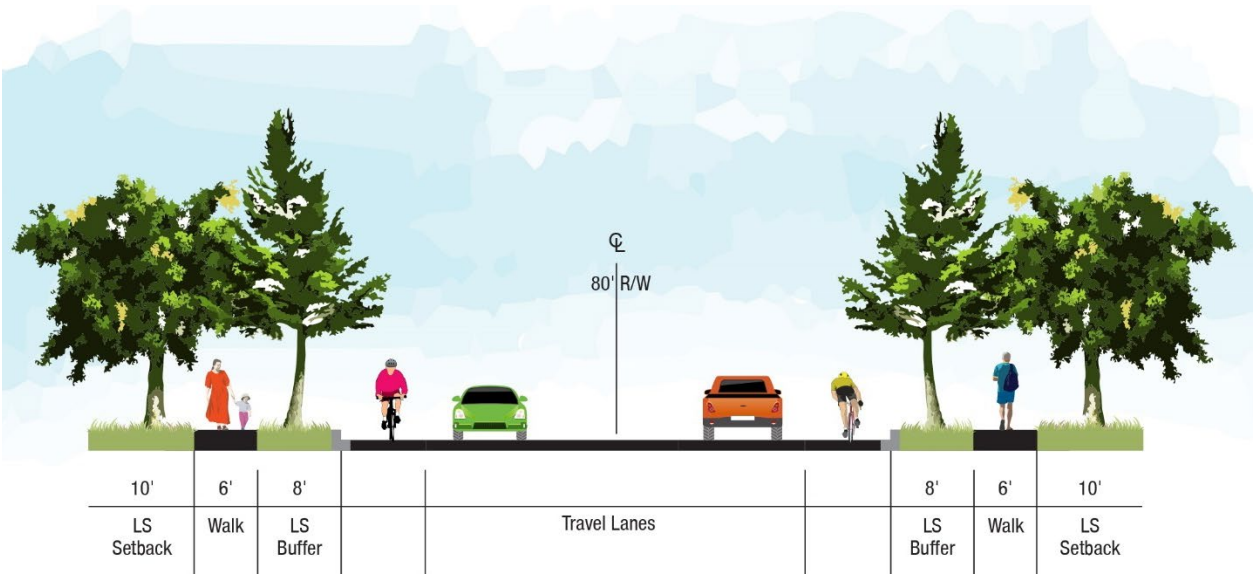


FIGURE 4-4: 2-LANE COLLECTOR STREETSCAPE

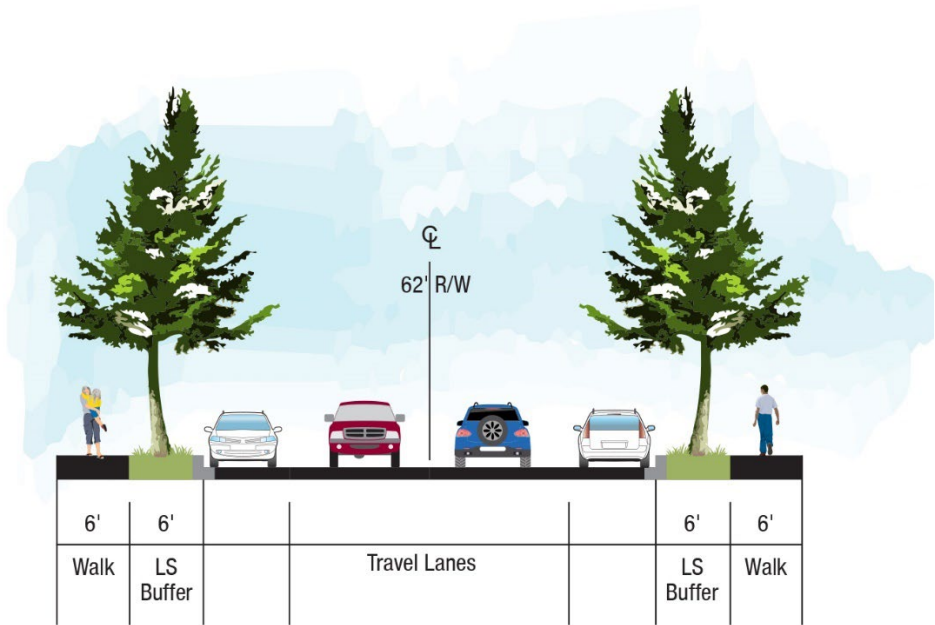
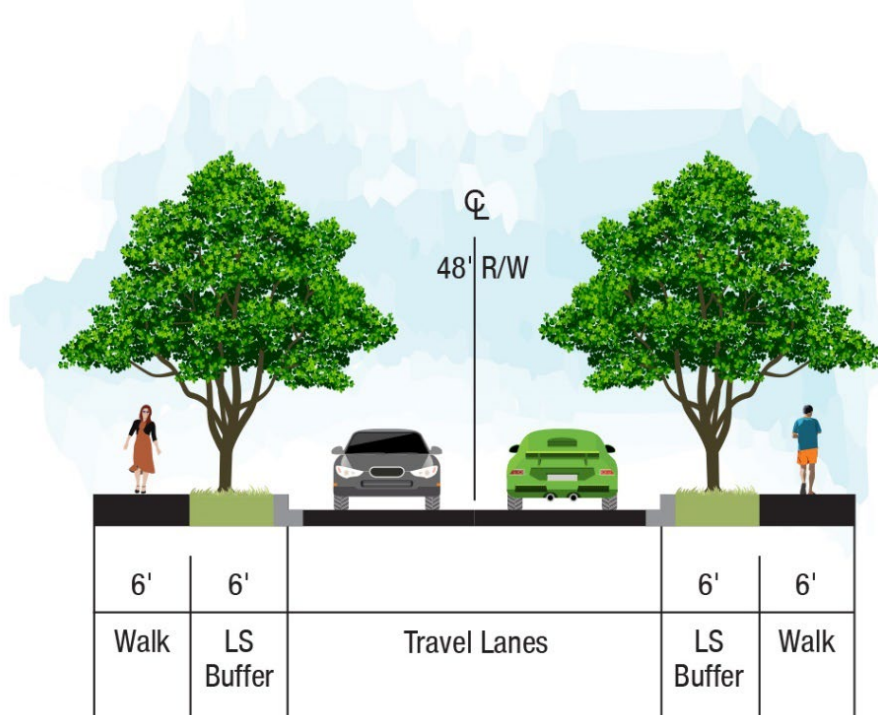


FIGURE 4-5: LOCAL STREET STREETSCAPE – ON-STREET PARKING



**FIGURE 4-6: LOCAL STREET STREETScape – NO ON-STREET PARKING**



#### 4.6.4 Community Gateways and Entry Monumentation

Entry monumentation within the KPC Coachella Specific Plan area serves to define the primary and secondary entrances to individual communities and neighborhoods. They are an important wayfinding measure that guide visitors and residents and create a sense of arrival while establishing architectural themes through the design, colors, and materials.

##### ***Primary Community Gateways***

Primary Community Gateways are located at prominent intersections within the community. Primary gateways are grand entries that establish a sense of place and clearly convey the message that residents and visitors have arrived at the KPC Community

As shown on Figure 4-1, *Landscape Master Plan*, primary community gateways are planned at the intersection of Avenue 50 and the Interstate 10 off-ramp and at the intersection of Avenue 50 and "A" Street as a way of establishing entrance to the plan area from the south. An additional primary community entry is planned at the intersection of Vista Del Norte and "A" Street to define entry into the community from the west. Primary Community Gateways are as follows:

- Entry monuments and signage will be designed and constructed to complement and enhance prominent architectural themes consistent with the vision for the KPC Coachella community.
- Primary Community Gateways will be iconic architectural elements that establish a sense of arrival within the community through unique design, colors, and materials.
- Public art installations may be included to complement the signage and wayfinding aspect of the Primary Community Gateway monuments.
- Plant material that complements the color and scale of the entry monument may be included. Landscaping may include flowering accent trees, shrubs and groundcover that visually enhance the design aesthetic of the monumentation.
- The project name and any associated marketing logos or images will be prominently displayed and easily understood at all times of day. Lighting will be included as part of the overall design.
- In addition, the landscaping will incorporate permeable pavers, decomposed granite ground cover, angular cobbles and boulders to match the rock found on, or within the vicinity of the site, or generated during site grading from local on-site sources if feasible.

Figure 4-7, *Primary Community Gateway*, shows sample imagery of the types of monumentation that may be implemented in the designated areas. Final design may differ based on market trends or as part of more refined design studies.

##### ***Secondary Community Gateway***

Secondary Community Gateways help to define the entrance to important areas within the community. They are used to complement and reinforce architectural themes and provide wayfinding signage for residents and visitors.

Secondary community gateways are planned where Vista Del Norte, C Loop, and F Loop intersect with all 4-lane major roadways and 2-lane collector streets. Additionally, a secondary community gateway is planned where G Street and E Loop South meet in Village E.

Secondary Community Entries are as follows:

- Secondary Community Gateways will be designed to complement the architecture and design theme of the Primary Community Gateways and the surrounding community. They will be designed to be smaller in scale while still conveying the vision for the KPC Coachella Community.
- Plant material that complements the color and scale of the entry monument may be included. Landscaping may include flowering accent trees, shrubs and groundcover that visually enhance the design aesthetic of the monumentation.
- The project name and any associated marketing logos or images will be prominently displayed and easily understood at all times of day. Lighting will be included as part of the overall design.
- The landscaping will incorporate permeable pavers, decomposed granite ground cover, angular cobbles and boulders to match the rock found on, or within the vicinity of the site, or generated during site grading from local on-site sources if feasible.
- Entry monuments will be maintained by the Homeowner's Association or a Lighting and Landscape District (or other maintenance district) if one is formed.

Figure 4-8, *Secondary Community Gateway*, shows sample imagery of the types of monumentation that may be implemented in the designated secondary community gateway areas.

### ***Neighborhood Entrances***

Neighborhood Entrances will generally be located at the intersection of collector and local streets or at the entries to individual neighborhoods. Entry monumentation and signage will be designed to complement and enhance the vision for each neighborhood through unique architecture and materials. Neighborhood Entry features are as follows:

- Neighborhood entry monuments are smaller in scale than Secondary Community Gateways and will be designed to reflect the vision and character of each individual neighborhood within the plan area.
- Neighborhood entries will be designed to be unique from other neighborhood signage and monumentation while still complementing the Secondary and Primary Community Gateways and overall design aesthetic of the community.
- Plant material that complements the color and scale of the entry monument may be included. Landscaping may include flowering accent trees, shrubs and groundcover that visually enhance the design aesthetic of the monumentation.
- The landscaping will incorporate permeable pavers, decomposed granite ground cover, angular cobbles and boulders to match the rock found on, or within the vicinity of the site, or generated during site grading from local on-site sources if feasible.
- Entry monuments will be maintained by the Homeowner's Association or a Lighting and Landscape District (or other maintenance district) if one is formed.

Figure 4-9, *Neighborhood Entrances*, shows sample imagery of the types of monumentation that may be implemented in the designated Neighborhood entry areas.





**FIGURE 4-7: PRIMARY COMMUNITY GATEWAY IMAGERY**





**FIGURE 4-8: SECONDARY COMMUNITY GATEWAY IMAGERY**





**FIGURE 4-9: NEIGHBORHOOD ENTRY IMAGERY**



#### 4.6.5 Performing Arts Amphitheater

The Performing Arts Amphitheater is envisioned as a primary community gathering space for residents and a major attraction for visitors within the region. Incorporated as part of the Alhambra waterway system, the amphitheater provides opportunities for outdoor concerts and shows that complement the adjacent entertainment uses. The facility is intended to be comprised of traditional bowl seating or benches and flexible lawn spaces.

The amphitheater will be owned and operated by a private company who will be responsible for all aspects relating to events using the facility, including event management, parking, food and beverage sales, retail sales, and visitor safety.

Figure 4-10, *Performing Arts Amphitheater Concept*, depicts the potential uses within the park. A detailed site plan will be submitted and reviewed by the City as part of the site plan and design review process.

#### 4.6.6 Parks, Paseos, and Open Space

The following recreation and open space goals shall apply to the development of parks, paseos and recreation facilities and the provision of open space within the Specific Plan area:

- Create flexible use spaces that can serve a number of community functions and act as community gathering spaces for residents and visitors.
- Provide a combination of passive and active recreation opportunities that meets the needs of residents and guests.
- Design neighborhood parks, pocket parks, the amenity center, and open space system to create and reinforce a sense of community identity and character.
- Create active, efficient, and inviting recreation facilities and open space areas.
- Create a network of accessible connections via streets, sidewalks, bike paths, promenades, paseos and natural systems to provide greater opportunities for convenient non-vehicular circulation.

The KPC Coachella Specific Plan includes a connected network of neighborhood parks, trails, paseos, and drainage areas, illustrated above on Figure 4-1, *Landscape Master Plan* above.

All parks shall meet ADA requirements in terms of accessibility and shall be irrigated with reclaimed water if it is available.

Parks will be designed in association with the adjacent planning area and the design of each park may vary from the programming discussed in this Specific Plan, subject to City design review. The following descriptions provide an outline for the theming and intent of the open space and park facilities within the KPC Coachella Community.



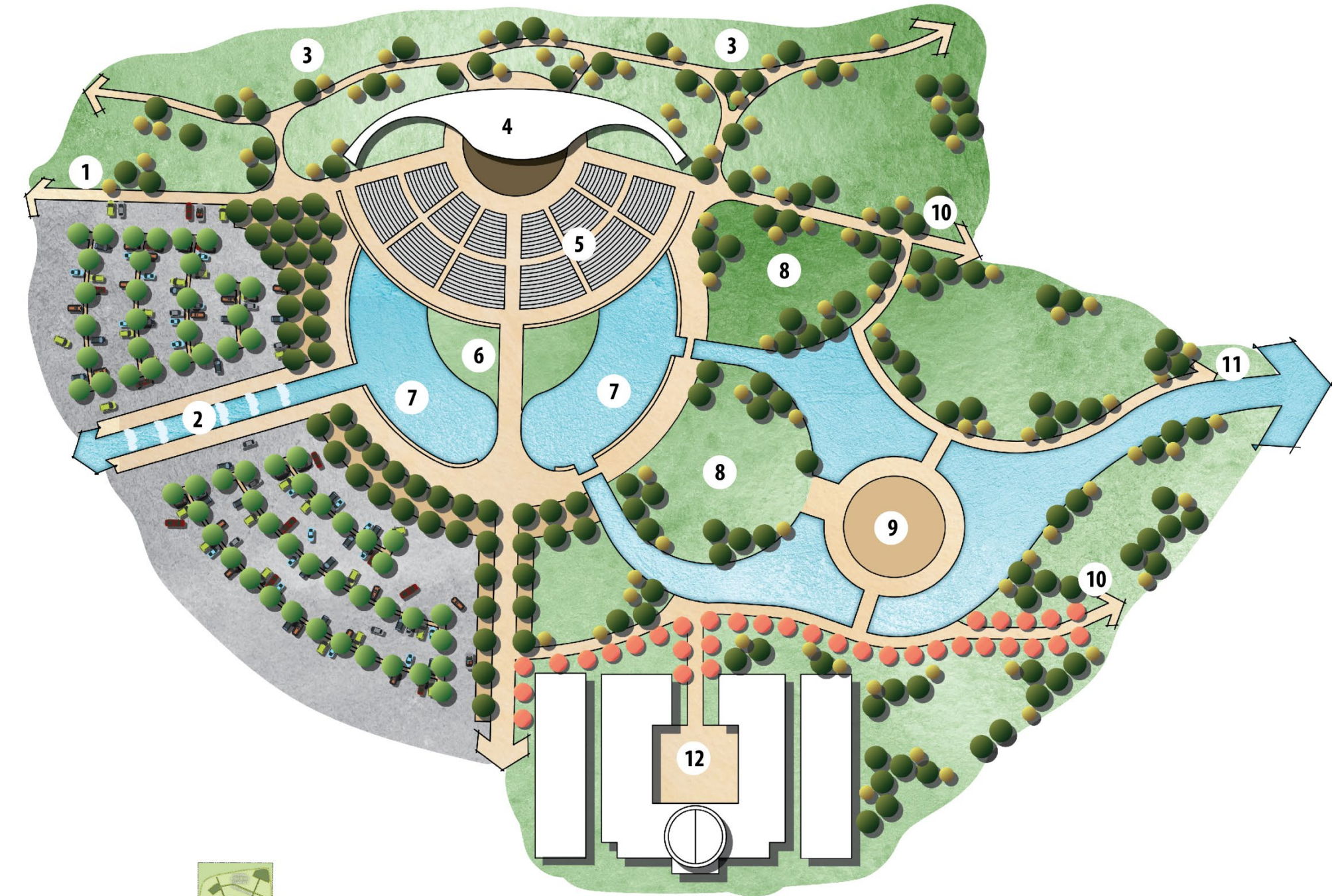
**TABLE 4-4: PARKS AND PASEOS PLANT PALETTE**

<b>Canopy Trees (24" box size)</b>		
Acacia Spp.	Acacia	Native Plant
Albizia julibrissin	Silk Tree	
Caesalpinia cocalaco	Cascalote	
Cercidium Spp.	Palo Verde	Native Plant
Chilopsis linearis	Desert Willow	Native Plant
Chorisia speciosa	Floss Silk Tree	
Dalbergia Sissoo	Sissoo Tree	
Ficus microcarpa	Indian Laurel Fig	
Fraxinus velutina	Arizona Ash	Native Plant
Jacaranda mimosifolia	Jacaranda	
Lagerstroemia indica	Crape Myrtle	
Olea Europaea	Swan Hill Olive	
Parkinsonia Spp.	Palo Verde	Native Plant
Pinus Elderica	Model Pine	
Pinus halepensis	Aleppo Pine	
Pistacia chinensis	Chinese Pistache	
Pithecellobium flexicaule	Texas Ebony	
Prosopis Spp.	Mesquite	Native Plant
Quercus agrifolia	Coast Live Oak	Native Plant
Quercus virginiana	Southern Live Oak	
Tipuana tipu	Tipu Tree	
Ulmus Parvifolia	Evergreen Elm	
<b>Palms (Minimum 15 gallon)</b>		
Phoenix canariensis	Canary Island Date Palm	
Phoenix dactylifera	Date Palm	
Syagrus romanzoffiana	Queen Palm	
Washingtonia filifera	California Fan Palm	Native Plant
Washingtonia robusta	Mexican Fan Palm	
<b>Shrubs/Grasses/Accents/Groundcovers</b>		
Agapanthus Spp.	Lily of the Nile	
Agave Spp.	Agave	Native Plant
Acacia Spp.	Acacia	Native Plant
Aloe Spp.	Aloe	
Artemesia Spp.	Artemesia	Native Plant
Baileya multiradiata	Desert Marigold	Native Plant
Baccharis Spp.	Baccharis	Native Plant
Bougainvillea Spp.	Bougainvillea	
Caesalpinia pulcherima	Dwarf Poinciana	

**TABLE 4-4: PARKS AND PASEOS PLANT PALETTE**

Calliandra californica	Fairy Duster	Native Plant
Callistemon 'Little John'	Dwarf Bottle Brush	
Carissa macrocarpa	Natal Plum	
Cassia Spp.	Cassia	Native Plant
Ceanothus Spp.	California Wild Lilac	Native Plant
Chamaerops humilis	Mediterranean Fan Palm	
Cistus Spp.	Rockrose	
Convolvulus Spp.	Morning Glory	Native Plant
Cordia Spp.	Cordia	
Cycas revoluta	Sago Palm	
Dalea Spp.	Dalea	Native Plant
Dasyilirion wheeleri	Desert Spoon	
Dietes bicolor	Fortnight Lily	
Dodonea viscosa	Hopbush	
Eremophila maculata	Red Eremophila	
Fouquieria splendens	Ocotillo	Native Plant
Hesperaloe parviflora	Yucca	
Ilex Vomitoria	Yaupon	
Justicia Spp.	Mexican Honeysuckle	Native Plant
Lantana Spp.	Lantana	
Leucophyllum Spp.	Sage	Native Plant
Ligustrum japonicum 'Texanum'	Texas Privet	
Muhlenbergia Spp.	Deer Grass	Native Plant
Myoporum Spp	Myoporum	
Nerium olenader	Oleander	
Opuntia Spp	Prickly Pear	Native Plant
Penstemon eatonii	Penstemon	Native Plant
Photinia Spp.	Photinia	
Rhus Spp.	Sumac	Native Plant
Rosa banksiae	Lady Bank's Rose	
Rosmarinus officinalis	Rosemary	
Ruellia Spp.	Ruellia	
Salvia Spp.	Salvia	Native Plant
Senna Spp.	Cassia	Native Plant
Tecoma Spp.	Yellow Bells	
Verbena Spp	Verbena	Native Plant
Xylosma congestum	Shiny Xylosma	
Yucca Spp.	Yucca	Native Plant





LOCATION MAP

- 1 WALKWAY TO CASINO
- 2 CASCADING WATERWAY FROM CASINO PLAZA
- 3 FLOOD PLAIN TRAIL
- 4 OVERHEAD TRELLIS
- 5 AMPHITHEATRE SEATING
- 6 LAWN SEATING
- 7 REFLECTING POOL
- 8 GRASSY PICNIC AREA
- 9 ART & SCULPTURE ISLAND
- 10 TRAIL TO CENTRAL PARK
- 11 WATERWAY THROUGH CENTRAL PARK
- 12 HOTEL COMPLEX



FIGURE 4-10: PERFORMING ARTS AMPHITHEATER CONCEPT



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### ***Central Park***

The Central Park is approximately 34 acres of community open space centrally located within the KPC Coachella Community. The park is directly east of the Hotel Entertainment area and consists of passive and active recreational opportunities for residents, employees, and visitors. The Central Park is the one of the largest formal open space areas in the community, consisting of:

- athletic fields/courts,
- a community center,
- interactive water features that connect multiple planning areas and uses,
- flexible amenity lawn spaces,
- educational opportunities,
- skate parks,
- botanical gardens
- tot lots
- natural desert flora and fauna, and
- hiking, walking, and biking trails that bring in users from all over the community.

The Central Park is envisioned to be a primary community gathering space with a focus on highlighting the natural landscape of the surrounding desert while providing a plethora of amenities for all who visit the park.

Figure 4-11, *Central Park Concept*, depicts the potential uses within the park. Detailed landscape design and programing site plans will be submitted and reviewed by the City as part of the site plan and design review process.

### ***Alhambra***

The Alhambra water feature is a grand system of cascading waterfalls and pools that takes advantage of the natural topography, running through the residential areas of Village B and leading to an iconic water feature integrated into the amphitheater and hotel entertainment complex. The Alhambra provides opportunities for residential, commercial, entertainment, and open spaces uses to interact with a large water feature that acts as the spine of the KPC Coachella community. The water feature connects to the extensive systems of pedestrian trails that bind the surrounding neighborhoods together, providing a unique experience for residents and visitors within a desert climate.

The Alhambra water feature will be a publicly accessible community asset that includes cascading waterfalls, reflecting pools, pedestrian walkways and bridges, fountains, and mature landscaping. The Alhambra may be designed as separate water systems that aesthetically appear to be one continuous waterway. Portions of the water feature may be designed to allow for body contact or recreational uses including pools, lakes, lagoons, or a “lazy river.”

Figure 4-12, *Alhambra Concept*, shows a potential segment of the waterway and surrounding residential uses. Detailed landscape design and programing site plans will be submitted and reviewed by the City as part of the site plan and design review process.

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- LOCATION MAP
- |                            |                                  |
|----------------------------|----------------------------------|
| 1 SOCCER FIELDS            | 10 SMALL DOG PARK                |
| 2 FULL-SIZE BASEBALL FIELD | 11 FENCED BIG DOG PARK           |
| 3 LITTLE LEAGUE FIELDS     | 12 SKATE PARK                    |
| 4 GRAND LAWN AREA          | 13 ORCHARD AREA                  |
| 5 SAND BEACH               | 14 TOT LOT                       |
| 6 POND AND STREAM          | 15 MULTI-PURPOSE BUILDING        |
| 7 DESERT NATURE AREA       | 16 LAZY RIVER AND SWIM AREA/DECK |
| 8 NATURE AREA              | 17 COMMUNITY CENTER              |
| 9 DESERT SCULPTURE GARDEN  | 18 SOUTH PARKING LOT             |



**FIGURE 4-11: CENTRAL PARK CONCEPT**

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FIGURE 4-12: ALHAMBRA CONCEPT



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### ***Sports Complex & Cycling Park***

The Sports Complex and Cycling Park is an approximately 48 acre active recreation area located within Village C. Unlike the Central Park, which focused heavily on a range of community uses and passive, natural open space areas, the Sports Complex is envisioned as a heavily programmed facility that caters to a range of sports organizations, from local youth leagues to adult leagues and regional tournaments. This area emphasizes the importance of physical activity across the spectrum of residents and designates a space for organized sports that supports the needs of the community and the City of Coachella. The park will be designed to include a range of facilities that allow it to host regional sports tournaments. The creates the ability to attract thousands of visitors to the community annually. Potential uses include:

- soccer, football, and baseball fields,
- tennis and basketball courts,
- a swimming complex, and
- a cycling track or bicycle-exclusive routes.

Additionally, supplemental uses such as community centers, gyms, food stands, bathrooms, and storage facilities could be included within this area. Management of the Sports Complex and Cycling Park may take the form of a public/private partnership, with private companies and City departments managing different aspects of the facilities and local leagues.

Figure 4-13, *Sports Complex & Cycling Park Concept*, depicts the potential uses within the park. Detailed landscape design and programming site plans will be submitted and reviewed by the City as part of the site plan and design review process.

### ***Active Adult Community Facilities***

Village D is envisioned as a community designed to promote an active adult lifestyle through an emphasis on outdoor recreation and pedestrian connectivity. At the core of the community are several recreational areas anticipated to include sport facilities, community centers, pools, and community gardens. Active adult facilities also include a system of on-street and off-street multi-use pathways oriented towards providing alternative methods of transportation, including walking, biking, and NEVs.

Active adult community facilities are operated by the Master Homeowners Association for the area and are accessible to anyone who is a member of that association.

Figure 4-14, *Active Adult Community Trail Concept*, depicts the potential uses within the park. Detailed landscape design and programming site plans will be submitted and reviewed by the City as part of the site plan and design review process.

### ***Typical Neighborhood Parks***

Neighborhood parks are planned for each community and will be designed and constructed by developers as new residential neighborhoods are established. These parks will be designed and located to ensure that all residents have nearby usable open space and recreational opportunities. Potential uses include tot lots, basketball courts, lawn space, bathrooms, and picnic areas.

Figure 4-15, *Typical Neighborhood Park Concept*, depicts the potential uses within the park. Detailed landscape design and programming site plans for all Neighborhood parks will be submitted and reviewed by the City as part of the site plan and design review process.



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LOCATION MAP

- |  |  |
|--|--|
| ① PARKING LOT                              | ⑥ TENNIS COMPLEX                                       |
| ② SOCCER FIELDS                            | ⑦ BASKETBALL COURTS                                    |
| ③ WIDENED PEDESTRIAN WALKWAY/ENTRY FEATURE | ⑧ MULTI-PURPOSE BICYCLE TRACK                          |
| ④ BASEBALL/SOFTBALL FIELDS                 | ⑨ FLEXIBLE PLAY AREA/ RECREATIONAL FIELD WARM-UP SPACE |
| ⑤ RECREATION CENTER/ CONCESSIONS STAND     |  |



FIGURE 4-13: SPORTS COMPLEX AND CYCLING PARK CONCEPT



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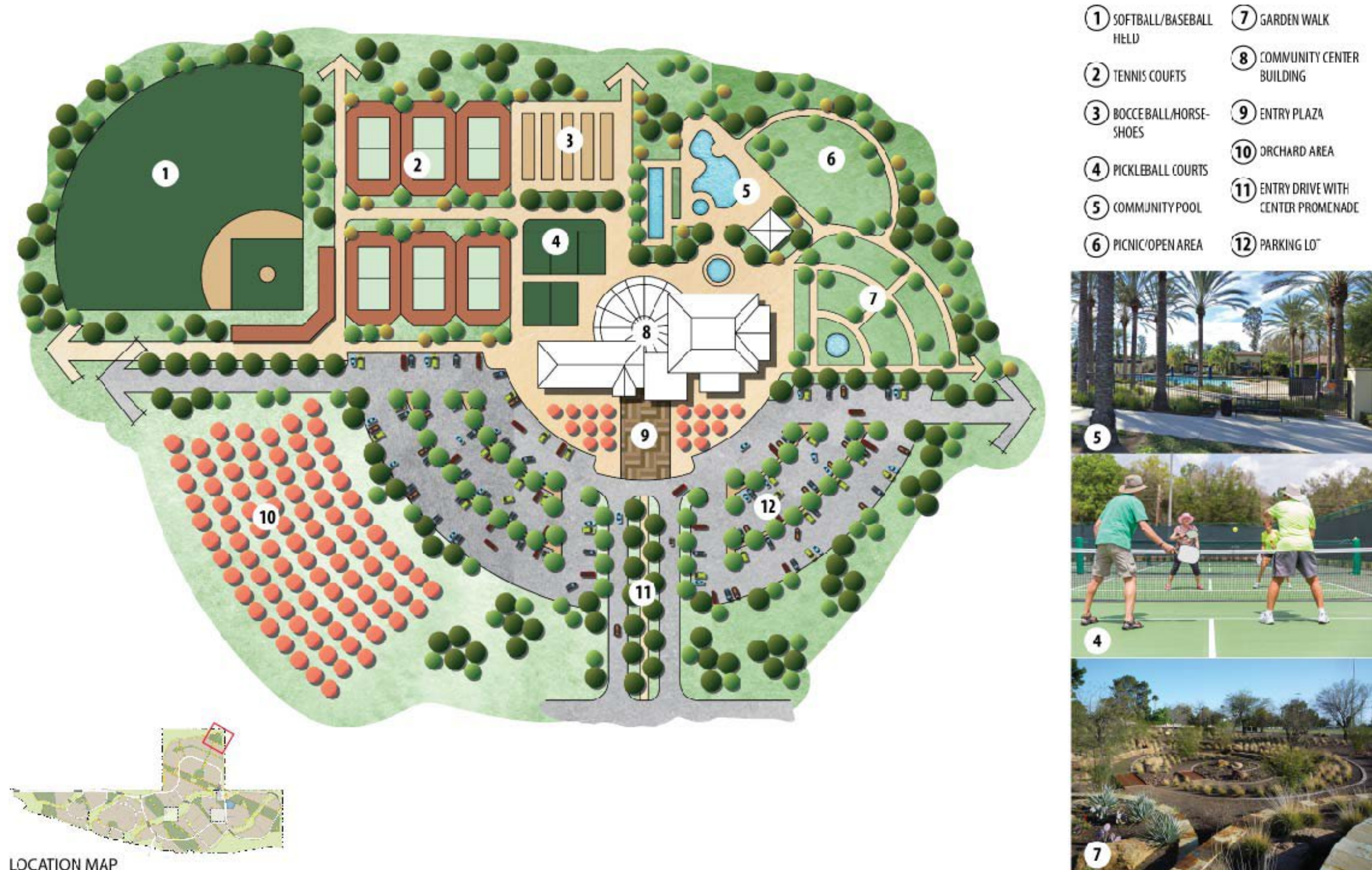
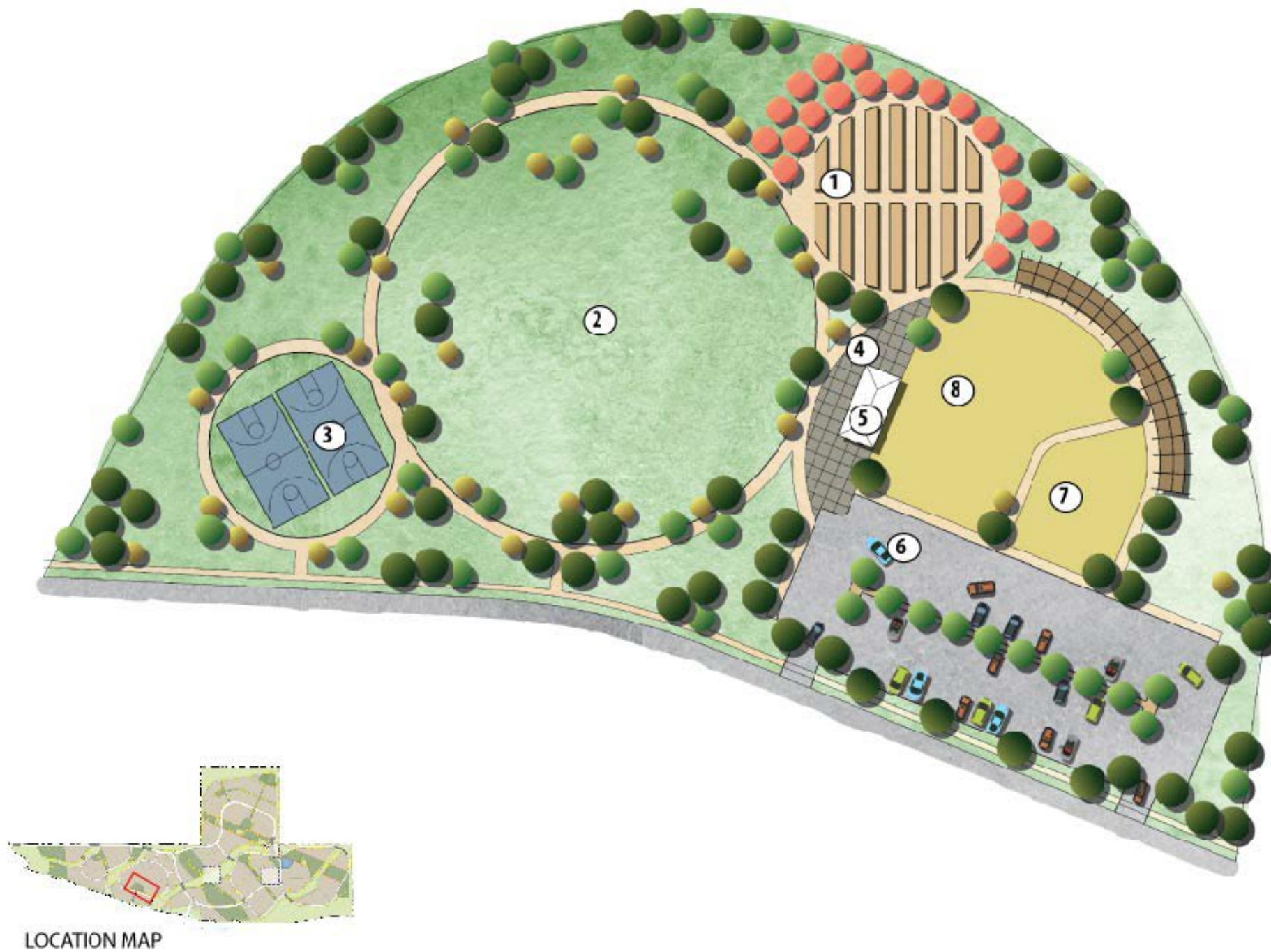


FIGURE 4-14: ACTIVE ADULT COMMUNITY FACILITIES CONCEPT



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- |                     |                         |
|---------------------|-------------------------|
| ① COMMUNITY GARDEN  | ⑤ BATHROOM/ CONCESSIONS |
| ② OPEN SPACE        | ⑥ PARKING LOT           |
| ③ BASKETBALL COURTS | ⑦ SMALL KIDS PLAY AREA  |
| ④ PLAZA             | ⑧ OLDER KIDS PLAY AREA  |





FIGURE 4-15: TYPICAL NEIGHBORHOOD PARK CONCEPT

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### ***Agricultural Estates***

Village E, located in the eastern portion of the plan area, is envisioned as an agricultural area with predominantly large-lot homes and areas reserved for agricultural production of goods such as table grapes and dates. The level of agricultural production may range from smaller community gardens and individual property owners to commercial-scale production. The unique weather conditions and land characteristics within the Coachella Valley will dictate the types of agricultural production possible within the plan area.

Figure 4-16, *Agricultural Estates Imagery*, depicts potential agricultural uses allowed within Village E. Operations and management of agricultural areas will be the responsibility of private property owners. Measures to ensure the responsible and efficient use of water within the plan area will follow the guidelines and standards put in place by the Coachella Valley Water Agency.



**FIGURE 4-16: AGRICULTURAL ESTATES IMAGERY**

### ***Desert Wash Paseo***

Desert wash paseos are multi-purpose walkways planned along the various drainage ways found within the plan area (see Figure 4-1). They consist of public parks and pathways located along the upper edges of the numerous soft bottom storm water channels that traverse the site. These linear parks will provide for passive and active recreational pursuits, including hiking and cycling, by incorporating a multi-purpose path on both sides, where possible, to accommodate pedestrians, and bicyclists with shade trees and shrubs and ground covers to control erosion and at other key areas along the route as needed for emphasis, where final grading plans permit. It is the intent of the landscape concept for these areas to be integrated and nestled into natural storm water channels with the focus on the use of native species and naturalistic arrangements, to retain the look and feel of the adjacent desert.

- Broad-canopied trees provide ample shade, native and indigenous shrubbery and ground covers provide color, texture and interest.
- All desert wash paseos will include vista points and numerous opportunities for sitting, resting, shade, and water. Furnishings will include signage, interpretive signs, shade structures, benches, trash receptacles, bike racks, and drinking fountains.

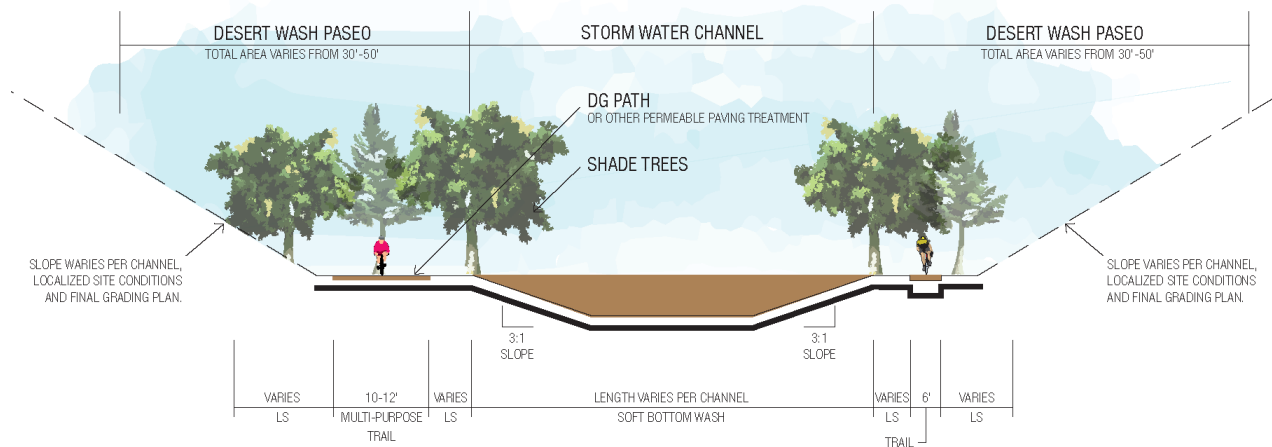
Refer to Exhibit 4-17, *Desert Wash Paseo Section*, for an illustration of a typical design for this paseo. Table 4-5, *Desert Wash Paseo Plant Palette*, illustrates the typical plant material for the desert wash paseo areas.

<b>TABLE 4-5: DESERT WASH PASEO PLANT PALETTE</b>	
<b>Canopy Trees (24" box sizes)</b>	
Acacia Spp.	Acacia
Chilopsis linearis	Desert Willow
Olneya tesota	Ironwood
Parkinsonia Spp.	Palo Verde
Platanus Spp.	Sycamore
Populus Spp	Cottonwood
Prosopis Spp.	Mesquite
Platanus Spp.	Sycamore
Quercus Spp.	Oak
<b>Shrubs/Grasses/Accents/Groundcovers</b>	
Acacia Spp.	Acacia
Agave Spp.	Agave
Ambrosia Spp.	Bursage
Anisacanthus Spp.	Honeysuckle
Artemisia Spp.	Sage
Baileya multiradiata	Desert Marigold
Baccharis Spp.	Baccharis
Buddleia marrubiifolia	Butterfly Bush
Calliandra Spp.	Fairy Duster
Carex Spp.	Native Carex



**TABLE 4-5: DESERT WASH PASEO PLANT PALETTE**

Dalea Spp.	Morning Glory
Dasyllirion Spp.	Desert Spoon
Dodonaea viscosa	Hopbush
Echinocactus Spp.	Barrel Cactus
Encelia Spp.	Brittle Bush
Ephedra viridis	Mormon Tea
Euphorbia rigida	Gopher Plant
Ferocactus Spp.	Barrel Cactus
Fouquieria splendens	Ocotillo
Hesperaloe Spp.	Yucca
Justicia Spp.	Chuparosa
Larrea tridentata	Creosote Bush
Leucophyllum Spp.	Sage
Muhlenbergia Spp.	Muhly Grass
Oenothera Spp.	Primrose
Optunia Spp.	Prickly Pear
Penstemon Spp.	Penstemon
Salvia Spp.	Sage
Senna Spp.	Cassia
Simmondsia chinensis	Jojoba
Verbena Spp.	Verbena
Yucca Spp.	Yucca


**FIGURE 4-17: DESERT WASH PASEO SECTION**

#### 4.6.7 Stormwater Facilities

In addition to functioning as storm water conveyance and treatment facilities, the proposed drainage facilities within the project will also serve as landscape features. These areas will take the form of swales or basins and will include bike paths meandering along their edges, as well as landscaping that will consist of riparian trees, grasses and groundcover. These areas may also serve as educational opportunities to promote an understanding of stormwater management through the use of informational signage which depicts the function of the swale and the types of landscape plantings that have been selected for their ability to survive periodic inundation.

In this desert environment, basins are typically unvegetated as their primary function is to maximize infiltration. The upper edges of basins are to be planted consistent with the open space and park palette as noted below. These facilities should have the appearance of a landscaped area and include decorative fences and gates for those areas visible to the public.

The following guidelines should be followed for the aesthetic design of stormwater facilities:

##### ***Biofiltration Strips***

The public roads can and will incorporate bioswales for treatment of storm water runoff where grades are acceptable.

Bioswales will only be located on streets that have a gradient not exceeding 4%. Steeper slope gradients would increase erosion due to high water velocity and reduce the potential for beneficial infiltration and water quality treatment. Roads that have a gradient greater than 4% will incorporate a landscape strip but will not include a biofiltration element. These landscape strip areas will include a curb and gutter on the street side and all storm water runoff from the street will be collected and routed to an underground storm water system via curb and gutter system.

- Bioswales will generally be located in landscape areas between the roadway surface and sidewalk/bike/NEV path and will allow storm water runoff to flow directly from the paved street into the biofiltration strip and then into the storm water system.



*Bioswales and other filtration methods should appear as naturally landscaped areas.*

- The bioswales can incorporate a combination of low growing grasses, 6-8" cobbles and ¾" crushed rock. The plant materials for these areas will be complementary of the overall parkway and median landscape design, be capable of fulfilling the requirements of the biofiltration system where required and be sufficiently irrigated between storm events.
- Grasses used shall be native or ornamental; turf species are discouraged. See Table 4-6, *Bioretention Plant List*, for plants appropriate in drainage basins and bioretention areas. Final plant selection shall be by a licensed landscape architect.
- The application of fertilizers and pesticides should be minimal.

TABLE 4-6: BIORETENTION PLANT LIST SOURCES: CASQA LID HANDBOOK, UC DAVIS LID INITIATIVE		
Latin Name	Common Name	WUCOLS
<b>Trees and Shrubs</b>		
Achillea millefolium	Yarrow	L
Amorpha fruticosa	False Indigobush	M
Artemisia douglasiana	Mugwort	M
Baccharis pilularis	'Pigeon Point' or 'Twin Peaks' Dwarf Coyote Bush	M
Calycanthus occidentalis	Spice Bush	L
Chilopsis linearis	Desert Willow	M
Umbellularia californica	California Bay Laurel	L
Justicia californica	Chuparosa	L
Mahonia spp	Chinese Holly Grape	M
Rosa californica	California Wild Rose	M
Sambucus mexicana	Mexican Elderberry	M
<b>Grasses and Perennials</b>		
Aristida purpurea	Purple Three-Awn	L
Carex praegracilis	Field Sedge	M
Carex spissa	San Diego Sedge	M
Carex divulsa	Berkeley Sedge	M
Festuca rubra	Red Fescue	M
Heuchera spp. (native varieties preferred)	Coral Bells	M
Iris douglasiana	Pacific Coast Iris	L
Iris germanica	Bearded Iris	M
Juncus occidentalis	Western rush	M
Muhlenbergia rigens	Deergrass	M
Sporobolus airoides	Alkali Sacaton	L



#### 4.6.8 Residential Landscaping

Developer-provided single-family residential front yard landscaping is optional and only required when selected by a homeowner as an “optional” development feature. However, each home is required to install at least one tree per street frontage, whether provided by the builder or the homeowner. In addition, a parkway street tree will be required, generally located adjacent to the curb. Typically, a parkway tree is a medium to larger scale, low water use tree that is sized and planted appropriately for the location (see streetscape figures for local streets). Front yards are required to be landscaped.



- Front yards shall incorporate low water use plants.
- No less than 50% of the front yard landscaping shall be planted with shrubs and groundcover. Provide at least 1-shrub for every 50 square feet of planting area. No, turf, grass, and other high water use plants are permitted.
- At maximum, groundcover should be spaced to cover 80% of designated planting areas within one (1) year after installation.
- Shrubs must be planted at one (1) gallon size minimum. Groundcovers may be planted from one (1) gallon size materials or flats.
- Front yards must include at least one 24-inch box sized tree per street frontage.
- Other yard materials such as gravel, boulders, or river rock or patio/courtyard areas may be utilized but may only comprise a maximum of 50% of the front yard area.



#### 4.7 Fences and Walls

Fences and walls may be necessary to provide separation between the various planning areas and adjacent commercial development, or between secure gated neighborhoods and others. Where utilized, the following general guidelines should be taken into consideration (refer to Section 3.2.6 for development regulations related to walls and fences):

- Fences and walls used throughout the Specific Plan area shall be constructed using high-quality materials and consistent with the aesthetic of adjacent architecture and landscape.
- Street-adjacent and perimeter wall and fence design, location, and height shall reflect the character and overall aesthetic of the project and shall be consistent in quality and color palette.

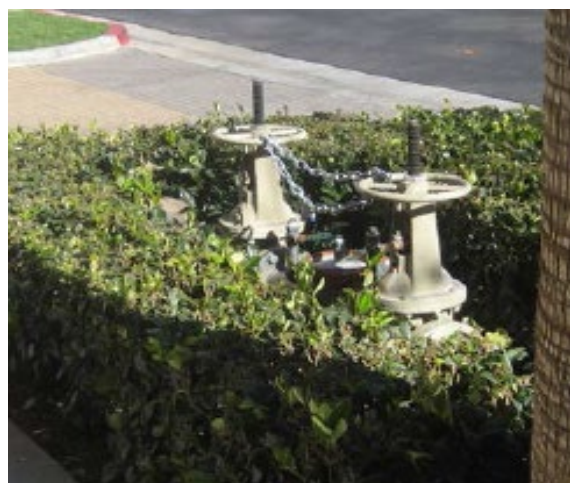
- Fences and walls along collector streets and project perimeters shall not exceed six feet in height unless required for noise attenuation based on acoustical analysis.
- Perimeter and street-adjacent walls and fences shall be constructed of attractive, durable, and low maintenance materials, including but not limited to precast concrete with textured or stone finishes, wrought iron, or tubular steel.
- Fences and walls along streets should include three levels of landscaping: groundcover, shrubs and low plantings, and trees.
- Residential rear and side yard fences and walls shall not exceed six feet in height, except as required for sound attenuation. Residential fences may be constructed of masonry, vinyl coatings, tubular steel, or a combination of these materials.
- Front yard walls and fences shall be constructed using high-quality materials such as tubular steel or masonry. Front yard walls and fences may vary for visual interest but shall be complementary and retain a harmonious overall aesthetic.
- Landscaping shall be required along walls and fences to break up the massing and provide greenery throughout the project. Long walls and fences (generally greater than 30 feet) uninterrupted by trees or other landscaping are not allowed along streets and adjacencies with parks, trails, and other common spaces.

## 4.8 Support Facilities

Service areas and above-ground equipment such as residential air conditioners, trash enclosures, and electrical vaults are understood to be a requirement of development. Their treatment is important to the overall quality of the community.

- With the exception of solar panels and small-scale wind turbines, roof-mounted mechanical equipment shall be avoided on the roof of single-family dwelling units.
- Small-scale wind turbines and solar heating and energy production panels and films are encouraged. These items do not need to be screened, since screening may limit productivity.
- Roof-mounted mechanical equipment (excluding solar panels, solar films, and small-scale wind turbines) on non-residential buildings shall be screened from views from streets, walkways, common areas, parks, and open space areas with parapets and other architectural features that are compatible with the architectural style and character of the building.
- Equipment should be located to maximize energy efficiency, such as locating cooling equipment in shaded areas that are protected from the hot sun, thus reducing energy needs.
- Storage, refuse and equipment areas shall be screened from publicly accessible spaces and/or neighboring residential uses. Landscaping and/or architectural enclosures can be used to screen these areas.
- Ground-mounted mechanical equipment shall be located behind privacy walls/fences, inside utility cabinets, and/or behind landscaping to screen this equipment from streets, walkways, parks, and common areas. Items to be screened include, but are not limited to, power transformers, electrical equipment, backflow preventers, antennas, HVAC (heating, ventilation, and air conditioning) equipment, and other similar mechanical equipment and utilities.

- Trash enclosures for multifamily homes or commercial centers must be screened by a solid wall or fence with landscaped buffers and located so that doors do not interfere with landscaping and pedestrian and vehicular circulation.
- Trash areas for single-family residential uses should be located in the side yard or garage area with access to curb or alley pick-up.
- Energy and water-efficient appliances, fixtures, lighting, and windows shall meet or exceed state energy performance standards. Energy Star qualified (or equivalent) models of mechanical equipment are strongly encouraged.



## 4.9 Exterior Lighting

Lighting shall be provided throughout the community's parks and open spaces, consistent with streetscape furnishings. Quality lighting enhances the nighttime vehicular and pedestrian experience and safety. Lighting design will help differentiate between land uses, highlight public and pedestrian-scaled spaces, provide continuity and aesthetic appeal along corridors, and encourage pedestrian and vehicular efficiency. Lighting along multi-use paths, walkways, and other areas used by pedestrians and bicyclists should be provided except in natural open space areas.

Lighting should minimize uncontrolled nighttime light and glare, light trespass, and night sky pollution with low brightness lighting fixtures utilizing warm, color corrected light sources and appropriate beam cut-off. Energy-efficient lamp technologies such as LED should be utilized along with photovoltaic sensors to turn lights off when adequate daylight is available.

Light standard styles should be consistent throughout the project, yet designed to meet City standards. Alternative street light designs may be allowed, subject to approval as part of site plan review. No specific alternative street light design is proposed.

- Exterior lighting should be unobtrusive and not cause glare or spillover into neighboring properties, especially when within 100 feet of open spaces. Lighting fixtures should direct illumination downward to minimize light pollution impacts.



- Up-lighting, spot-lighting, and decorative color lighting may be appropriate for prominent buildings and features, such as hotels or entertainment venues. Prior to the approval of any Site Plans for any future development(s) associated with the Specific Plan, the applicant shall submit to the City of Coachella Development Services Department a photometric (lighting) study providing evidence that the Project light sources do not spill over to adjacent off-site properties in accordance with the Coachella Municipal Code and the CVMSCHP.
- 
- Lighting shall be provided throughout the site to create an inviting and non-threatening environment. Night lighting of public spaces shall be kept to the minimum necessary for safety and security purposes.
- The scale, materials, colors, and design detail of light posts and fixtures should reflect the desired character of the project and the architectural style of the surrounding buildings.
- Light posts shall be appropriately scaled to pedestrians near sidewalks and other areas of pedestrian circulation. Extremely tall light posts and fixtures shall be avoided. Bollard lighting is encouraged to illuminate walkways without providing spillover.
- Energy-efficient, low voltage lighting is required. Decorative lighting shall be low intensity.
- If security lighting is required, fixtures shall be hooded, recessed, and/or located in such a manner to only illuminate the intended area.
- Lighting shall be provided, at a minimum, in the following locations for safety and for crime prevention:
  - Parking Lots and Structures;
  - Plazas or outdoor seating areas;
  - All building entries;
  - Refuse disposal areas (may be provided as part of parking lot lighting); and
  - Walkways.
- Addresses shall be visible from streets and illuminated at night.



*Lighting should be designed to be compatible and integral with the architecture.*



*Lighting should be designed to accommodate the scale of the user*



*Parking lots should have sufficient lighting to provide security and safety*



A row of tall palm trees stands on a green lawn. In the background, there are mountains under a clear blue sky. A dark blue rectangular box is overlaid on the right side of the image, containing the section title.

# **SECTION 5**

## Administration and Implementation



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The purpose of this chapter is to provide an outline of the steps necessary to implement the KPC Coachella Specific Plan and applicable conditions, mitigation measures and regulations in coordination with the City of Coachella and other governing public agencies. This chapter is intended to address each of these elements for the benefit of the future developers and builders, the City of Coachella and other approving agencies, and interested citizens. The approval of this Specific Plan, certification of an Environmental Impact Report, and adoption of a Mitigation Monitoring and Reporting Program (MMRP) will assure that timely mitigation of project impacts take place at the appropriate milestones and in accordance with project implementation.

## **5.1 Administration**

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of the City's General Plan. As with general plans, the Planning Commission must hold a public hearing to consider and provide a recommendation on the Specific Plan to the City Council, which is the ultimate approval body.

### **5.1.1 Responsibility**

The City of Coachella's Development Services Department, its Director or their designee shall be responsible for administering the provisions of the KPC Coachella Specific Plan in accordance with the provisions of this Specific Plan document, all governing and applicable state and federal laws, the City of Coachella's General Plan, including all amendments or updates thereto, and the City of Coachella Municipal Code.

For any gaming property in the resort district that is governed by a recognized Native American tribe, the Tribal council will be responsible for the administration of the land use regulations.

### **5.1.2 Applicability**

All development within the KPC Coachella Specific Plan area shall comply with the requirements and standards set forth in this Specific Plan document and the accompanying EIR, conditions of approval and Mitigation and Monitoring Report. Where conflicts exist between the standards contained in this Specific Plan and those found in the City of Coachella Zoning Ordinance or Municipal Code, the regulations and standards in the Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of Coachella Zoning Code, Municipal Code or General Plan, using the context and objectives of the Specific Plan as a guide.

The name "KPC Coachella Specific Plan 21-01" refers to this Specific Plan document and its supporting information. The final marketing name of the project may differ and will be determined by the project's Master Developer.

### **5.1.3 Severability**

If any section, subsection sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this plan.

#### **5.1.4 Interpretation**

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the Coachella Municipal and Zoning Codes, except where specifically provided in the Specific Plan. Whenever the provisions contained in the Specific Plan conflict with the Municipal or Zoning Codes, the provisions of the Specific Plan shall take precedence. Any ambiguity concerning the content or application of the KPC Coachella Specific Plan shall be resolved by the City's Development Services Department, its Director or their designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan. If requested, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

#### **5.1.5 Substantial Conformance and Minor Modifications/Technical Adjustments**

Final development plans for each planning area of the project may be adjusted or modified based on final design and engineering and the precise development plans of the planning area developer.

Documentation of the proposed project, as modified, to support an implementing map, plot plan, or use permit must be submitted for the review and approval of the Development Services Department, its Director or their designee. The Development Services Director or their designee shall have the authority to identify and approve, on behalf of the City, minor adjustments or modifications, as defined herein, which substantially conform to the approved Specific Plan.

##### ***Minor Modification***

The Development Services Director or their designee may allow minor modifications or adjustments to the Specific Plan through an administrative review process, so long as those minor modification and adjustments are consistent with the intent of the Specific Plan.

Minor modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments, location of utilities or other infrastructure, development of innovative product design, distribution of permitted uses within the Specific Plan, development of Final Design Guidelines, density transfers or other similar modifications deemed to be minor. Minor modifications or technical adjustments may include, but are not limited to the following:

- a. Modifications necessary to comply with final Conditions of Approval or mitigation measures;
- b. Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the intent of any plan or regulation, as well as correction of any clerical or grammatical errors;
- c. Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City's Engineering or Public Works Department so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities;
- d. Change in roadway alignment, width, or improvements through the final engineering/improvement plan process so long as minimum rights-of-way meet the standards outlined in the Specific Plan;
- e. An adjustment of any neighborhood or zone boundary not to exceed 10% of the acreage within that planning area boundary;



- f. Variation in the number and type of dwelling units within each planning area or lifestyle village boundary may occur at the time of design depending on the residential product identified for development with the village;
- g. Minor adjustments to any of the development standards or regulations such as modification of wall heights for noise attenuation purposes, modification of allowable encroachments into setbacks, etc. that are specifically allowed under the Development Regulations of this Specific Plan;
- h. Minor changes to landscape materials, wall materials, entry design, and streetscape design which are consistent with the design criteria set forth in the Design Guidelines of the Specific Plan;
- i. Minor changes to the architectural or landscape design guidelines, which guidelines are intended to be conceptual in nature and flexible in implementation;
- j. Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, improves infrastructure, or provides similar utility and reduces operations and maintenance costs;
- k. Residential unit transfers between planning areas in accordance with Section 5.2.6 of this Specific Plan; and
- l. Increases or decreases in lot sizes, so long as any change meets the minimum lot size requirements of the Specific Plan.

The minor modifications described and listed above are not comprehensive. Any modification that is deemed by the Development Services Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted.

The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo any necessary technical review by City agencies as the Development Services Director or their designee deems necessary to provide for updated conditions of project approval.

#### **5.1.6 Amendments to the Specific Plan**

If a project applicant seeks a modification or adjustment to the Specific Plan which is deemed by the Development Services Department to be a substantial modification, the Development Services Director shall have the discretion to refer any such requests to the City's Planning Commission for review and consideration. Substantial amendments to the Specific Plan require a public hearing before the City's Planning Commission which will make a recommendation to the City Council for action. The Planning Commission and City Council may approve, deny, or conditionally approve amendments to the Specific Plan. Minor modifications and adjustments to the Specific Plan may be approved by the City's Development Services Director or their designee as stated below.

A minor modification or adjustment to the KPC Coachella Specific Plan listed in the section above would not require a Specific Plan Amendment. An amendment to the Specific Plan is required if the following occur:

- a. Changes to the overall Specific Plan boundaries (changes to planning area boundaries within the Specific Plan boundaries are deemed minor as noted above and would not require an amendment);

- b. A change in any other provision, purpose, or standard of the Specific Plan, which would significantly alter the basic intent, identity, or concepts of the Specific Plan; or
- c. An increase in the overall development density thresholds within the Specific Plan.

An applicant may request amendments to the KPC Coachella Specific Plan at any time pursuant to Section 65453(a) of the Government Code.

An amendment to the Specific Plan requires public hearings, a recommendation by the City's Planning Commission and approval by the City Council. Specific Plan amendments are governed by California Government Code, Section 65456, and require an application and fee to be submitted to the City's Development Services Department. The application shall state in detail the reasons for the proposed amendment.

The KPC Coachella Specific Plan shall not be approved or amended unless the following findings are made by the Planning Commission and City Council:

- The Specific Plan or amendment systematically implements and is consistent with the General Plan;
- The Specific Plan allows for a more coordinated and cohesive development compared to what is allowed under traditional zoning classifications; and
- The Specific Plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required for the long term needs of the project and/or other area residents and complement the orderly development of the City of Coachella.

If the proposed amendment requires additional environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) for the proposed amendment are responsible for all fees and costs associated with the preparation of any necessary CEQA documentation.

### **5.1.7 Appeals**

An appeal of any determination, decision, or requirement of City staff or the Planning Commission shall be made in conformance to the appeal procedures established by the Coachella Municipal Code.

## **5.2 Implementation**

### **5.2.1 Specific Plan Adoption**

The KPC Coachella Specific Plan will be prepared, submitted, and approved in a manner consistent with California Government Section 65451, as well as all applicable and pertinent sections of the City's Municipal Code. The KPC Coachella Specific Plan Development Regulations shall be adopted by ordinance and shall serve as the zoning for the KPC Coachella project area; the balance of the Specific Plan document will be adopted by Resolution. The approved Specific Plan project site will be designated on the City's General Plan Land Use Diagram and Zoning Map as the KPC Coachella Specific Plan. The land use and development standards identified in this Specific Plan document supersede all zoning regulations to the extent that they would be in conflict with the sections of this Specific Plan.

### **5.2.2 Lead Agency Certification of Environmental Impact Report**

A Program Environmental Impact Report (EIR) has been prepared for the KPC Coachella Specific Plan to analyze significant environmental impacts of the project, discuss feasible alternatives, and recommend

feasible mitigation measures in compliance with the provisions of the California Environmental Quality Act (CEQA). The EIR analyzes the entire Specific Plan area and addresses potential impacts associated with development of the Specific Plan area. The EIR includes a recommended mitigation and monitoring program and analyzes implementing actions for development. Preparation of the EIR was done in conformance with the requirements for environmental documentation for many of the subsequent discretionary and ministerial development applications for the Specific Plan.

### **5.2.3 Subsequent Approvals and Plans**

Following the City Council actions on the initial entitlements, subsequent entitlement steps must occur to implement the Specific Plan, including without limitation, Tentative and Final Subdivision Maps, Conditional Use Permits, Design Review, Building Permits, Grading Permits, and approval of Subdivision Improvement Agreements. The map review and approval process and the design review are described in the following sections.

The City of Coachella shall not issue any entitlement, permit, or approval in connection with a development project within the Specific Plan area unless said entitlement, permit, or approval is in substantial conformance with all applicable aspects of this Specific Plan.

Several levels of subsequent or concurrent approvals are required to implement the project.

- A Tentative Tract Map for finance/conveyance purposes will be considered concurrently with the Specific Plan to create large parcels consistent with the various Planning Areas of the project's Land Use Plan.
- Tentative Tract Maps will be prepared and processed through the City for individual planning areas in accordance with the Subdivision Map Act and City Municipal Code. Tentative Maps shall be consistent with the vision and sustainable community design standards of this Specific Plan. These maps will create buildable parcels and road rights-of-way and/or private streets. Engineered improvement plans will be prepared to implement required facilities.
- A Master Signage Program will be prepared to provide for design continuity within the new community.

### **5.2.4 Architectural/Site Plan Review**

Future developers within the Specific Plan are required to submit complete development and architectural plans for all projects to a Master Developer Design Review Committee ("Committee") or successor entity prior to the submittal of plans to the City of Coachella for Architectural/Site Plan review. Review by the Committee is limited to making a determination of initial consistency of the proposed project with the Specific Plan. Upon review and approval by the Committee, the Master Developer shall provide builders or their authorized agents with a letter of approval that must be submitted with any development application for the reviewed planning area to the City (see process below).

### **5.2.5 Architectural/Site Plan Review Process**

Coachella Municipal Code (Chapter 17.72) requires Site Plan/Architectural Review of development projects. All implementing projects within the KPC Coachella Specific Plan will be required to obtain Architectural Review approval prior to issuance of a building permit. The architectural review process requires submittal of a site plan, landscape plan, Wall/Fence Plan, and conceptual architectural elevations. Project parks are also subject to design review.



**Basis for Approval.** The basis for approval of Architectural/Site Plan Review of projects within the Specific Plan shall be as follows:

- Adherence to the land use and development standards as outlined in the Development Regulations section of this Specific Plan.
- Conformance with the landscape, site planning, and architectural guidelines of this Specific Plan.
- Conformance with the City's General Plan.

**Approving Authority.** Architectural and/or Site Plan Review requests for projects within the Specific Plan area shall be reviewed for substantial conformance with the Specific Plan and approved by the Director. All architectural review approvals are subject to appeal to the City Council.

**Development Status Tracking.** A Development Status Table shall be submitted to the City's Development Services Director as part of the site plan review process. This table shall specify the development status for the relevant planning area(s) in relation to the Specific Plan land use totals, and shall include the following information:

- a. Specific Plan parcel area and the allocation of dwelling units for each planning area submitted as part of the site plan.
- b. Calculation of the remaining development allowed in the Specific Plan by density (Very Low Density, Low Density, etc.).

### 5.2.6 Density Transfers

The project's Land Use Plan and Table 2-2, *Specific Plan Land Use Summary*, set forth the land use designations, acreage, density range, commercial intensity, and total target units for each land use category. Tables 2-3 through 2-7, *Land Use by Village*, detail the land use statistics by village and planning area. As used throughout this document, the term "Density Transfer" means the redistribution of residential units from one planning area to another within a village. For example, if a number of residential units developed within a planning area is planned to be below the designated target, then all or a portion of the remainder of those units may be transferred to another planning area within the same village.

#### ***Procedures***

A Specific Plan density transfer may be initiated at any time by the project applicant, master developer or planning area developer. A request for a density transfer shall be accompanied by a tentative subdivision map application for the planning area or parcel in question and a Development Transfer Status Table.

A "Development Transfer Status Table" shall be submitted to the City's Development Services Director for review by the Planning Commission prior to transfer of any dwelling units within the boundaries of the KPC Coachella Specific Plan. This review will be part of the Planning Commission approvals for the related tentative subdivision map. This table shall specify the entitlement and development status for each planning area including the following information:

- a. Specific Plan parcel areas and the allocation of dwelling units for each planning area;
- b. Number of dwelling units entitled under an implementing subdivision by planning area; and

- c. Number of dwelling units transferred to or from each Planning Area that is already entitled or proposed to be entitled by the implementing subdivision.

A density transfer request will be reviewed by the Planning Commission as part of the related tentative subdivision map application pursuant to a Substantial Conformance application, based upon a determination that the transfer meets the following conditions:

- a. The overall total number of approved residential dwelling units shall not exceed the allowable Specific Plan dwelling unit maximum as outlined in Table 2-1, *Land Use Summary*.
- b. The transfer of units does not cause the maximum density allowed within a receiving planning area to be exceeded.
- c. There would be no significant adverse effects on projected demand infrastructure in the receiving area from the addition of units.
- d. Grading would remain in substantial conformance with the approved Specific Plan.
- e. No new significant environmental impacts that were not previously assessed in the KPC Coachella EIR would result from the transfer.

Adjustments to Planning Area boundaries would also qualify for processing under a Substantial Conformance application provided the total acreage of the affected Planning Area does not increase or decrease by more than 10 percent of the total for that area as stated in the approved Specific Plan.

### 5.2.7 Village Refinement Plan

The administration section of the KPC Coachella Specific Plan outlines the procedures and guidelines for new development within the Specific Plan area. The Specific Plan area is unique, however, in its size and diversity of land uses and densities represented in the Specific Plan's distinct village areas. The intention of this Village Refinement Process is to preserve the flexibility given to new development, while retaining individual planning area and village identity and promoting a diversity of residential product types and architectural styles.

The Village Refinement Process outlines a set of procedures for implementing projects to ensure that development across neighborhoods have a cohesive look and feel in publicly accessible common areas (including street rights-of-ways) and to dissuade the overconcentration of developments with identical product types, floor plans or architectural styles within individual neighborhoods or Planning Areas. As part of the Village Refinement Process, the Planning Area Refinement Plan document is designed to comply with the site plan review procedure outlined in Chapter 17.72 of the City of Coachella municipal code, as well as the procedures outlined in the Implementation Section (Section 5) of the KPC Coachella Specific Plan. The Planning Area Refinement Plan shall set the precedent for the subsequent neighborhoods in the same planning area and is intended to bridge the gap between the Specific Plan and future implementing development.

Requirements of the Village Refinement Process include:

- Prior to or concurrent with the first approval of any implementing project within any Planning Area, a Planning Area Refinement Plan must be submitted through an administrative Specific Plan Conformance application to:
  - Establish standards for landscaping and street furniture within public rights-of-way areas within that Planning Area.

- Establish building permit/dwelling unit triggers for park plans to be submitted and approved for community parks within the same Planning Area to be constructed.
- The Planning Area Refinement Plan must adhere to the land use and development standards of the Specific Plan, including conformance with the landscape, site planning and architectural guidelines of the Specific Plan, as well as conformance with the City of Coachella's General Plan.
- Subsequent neighborhood developers within a Planning Area which has an approved Planning Area Refinement Plan must submit for and obtain a Certificate of Substantial Conformance to ensure consistency with the Planning Area Refinement Plan as part of the administrative review process.
- Modifications to the design standards created within a Planning Area Refinement Plan are permitted through a modification to the approved Specific Plan Conformance application. Modifications may be approved administratively through a decision by the Planning Director.
- The requirements of the Planning Area Refinement Plan include:
  - A preliminary diagram that illustrates how the circulation, uses, and interaction will work within the village as a whole, including but not limited to: links between open space, trails and trail connections, roads and road connections, and landmarks.
  - A preliminary plant and furniture palette for all public right-of-way areas, including permitted street trees, light poles, community walls/fences, monuments, and street furniture.
  - A discussion of the overarching community character design goals and the village design goals so that both levels of character—overarching community level and village level—are being properly addressed.
  - A narrowed list of architectural styles to be applied within the village, to further define the character of the village. As discussed within the Design Guidelines section of the Specific Plan (Section 4), proposed floor plans and architectural styles for separate neighborhoods within an individual Planning Area shall not be substantially similar, as determined by the Community Development Director.

## 5.3 Phasing

### 5.3.1 Project Phasing

Construction of the proposed project, including recordation of final subdivision map(s), and design review may be progressively done in stages, provided vehicular access, public facilities, and infrastructure are constructed to adequately service the development, or as needed for public health and safety. Five large scale phases are assumed (see figure below); subsequent sub-phases will likely occur. The project will be phased to:

- Provide an orderly build-out of the community based upon market demand; and
- Provide adequate infrastructure to service the project.



The project will be constructed in phases based on market demand and available infrastructure improvements needed to support development. Phases may occur concurrently so long as the associated infrastructure is provided.

The anticipated development phases, as generally shown in Figure 5-1, *Phasing Plan*, include the following estimated dwelling unit counts and commercial development numbers shown in Table 5-1, *Phasing*.



**FIGURE 5-1: PROJECT PHASING PLAN**

**TABLE 5-1: PHASING**

Phase		Dwelling Units	Commercial/Office	Other
1	Village A Village B Village C	2,278 du	27 acres (resort) 23 acres (entertainment)	Elementary School Hotel/Entertainment Center Entertainment Venue
2	Village B	1,721 du	44 acres mixed-use	
3	Village B	660 du	200 acres MU (incl NAP)	Wellness Complex
4	Village C	1,028 du	10 acres	Middle School, Elementary School
5	Village D	2,694 du	6 acres	
6	Village E	1,157 du	0 acres	Elementary School
Total		9,536 du	306 acres (incl NAP)	

The ultimate pace and phasing of the development is dependent on a number of internal and external factors. As other projects and improvements in the area progress various adjustments and revisions to the project phasing may occur. Revisions to the phasing plan shall be reviewed by the City's Development Services Department and approved administratively so long as the proposed revisions meet the intent of the Specific Plan and adequately provide for the needs of the community. Any revision to the phasing deemed consistent with the Specific Plan shall not require a specific plan amendment.

### 5.3.2 Park Phasing

Parks will generally be constructed in the associated development phase.

## 5.4 Project Financing and Maintenance

Maintenance within the KPC Coachella community will be accomplished through a combination of private and public mechanisms. In general, community facilities dedicated to public agencies will be maintained by the relevant agency, while private facilities will be maintained by a combination of funding sources, including the potential formation of lighting and landscape districts or other similarly authorized maintenance districts.

Table 5-2, *Financing, Ownership, and Maintenance*, outlines the entities expected to maintain and finance the individual improvements.

### 5.4.1 Master Homeowners Association

A Master Homeowners Association (MHOA) will be formed for the maintenance of community-wide common areas identified in the Specific Plan. Areas of responsibility shall include, but are not limited to, community-wide facilities including community signage, private parks, the Village Paseo and private recreation areas shared by the entire community.

The exception to this is any future gaming facility development, which is under Tribal control and maintenance once the project goes into Trust.



### 5.4.2 Residential Neighborhood Homeowners Association

In certain areas of the project, a residential second tier or Sub-Homeowners Association (HOA) may be formed for the maintenance of private facilities held in common ownership, such as project landscaping and maintenance, lanes, private parks, entries, community facilities and lighting within individual subdivisions.

CC&Rs will be developed as part of the Project's Homeowners Association. The CC&Rs for the project shall incorporate the following elements:

1. Private garages within the Specific Plan area shall be utilized for vehicle storage and be kept open for such use.
2. Long term storage of operable or inoperable vehicles in the front or rear yard of homes is not permitted.

### 5.4.3 Business Association

A Business Association and/or multiple associations may be formed to address private roads, shared driveways, landscaping, signage, and maintenance within the Commercial/Mixed Use areas of the Plan, inclusive of commercial or office uses.

The financing and maintenance of improvements of the KPC Coachella Specific Plan includes both public and private sources. Table 5-2, *Financing, Ownership, and Maintenance*, outlines the anticipated responsibilities for financing and maintenance of improvements within the KPC Coachella Specific Plan.

**TABLE 5-2: FINANCING, OWNERSHIP, AND MAINTENANCE**

Improvement	Financing	Ownership	Long-term Maintenance
Water System	Developer/CFD	Public/CWA	Coachella Water Authority (CWA)
Sewer System	Developer/CFD	Public/Coachella Sanitary District	Coachella Sanitary District
Drainage System	Developer/CFD	Private	Homeowners Association (HOA)/LLMD with CVWD oversight
Master Drainage System (channels and 18" + RCP)	Developer/CFD	City of Coachella	City of Coachella
Desert Wash Paseos	Developer	City of Coachella	HOA/Maintenance District
Interchange	State of California	Caltrans	Caltrans
Public Streets	Developer/CFD	Public/City of Coachella	City of Coachella
Village Paseo	Developer/Builder	Private	Master HOA
Private Internal Streets and Alleys	Developer	Private	HOA
Landscaping within Public Right-of-Way	Developer	Public/City of Coachella	Landscape Lighting and Maintenance District (LLMD), or other maintenance district, with City of Coachella oversight
Private Common Slopes	Developer	Private/HOA	HOA
Open Space	Developer	Private/HOA	Master HOA
Public Parks	Developer	City of Coachella	City of Coachella or maintenance district
Private Parks	Developer	Master HOA	HOA

## 5.5 Fiscal Impacts

A Fiscal Impact Analysis was prepared to analyze the fiscal impact from development of the Specific Plan on the City of Coachella's General Fund.

The purpose of the fiscal analysis is to estimate the net fiscal impacts of the Project's proposed development and construction on the City General Fund. The fiscal impacts identified in the Report include recurring municipal revenues and costs to the City General Fund that result from the land use scenario presented by the Specific Plan. City General Fund revenues are generated from a variety of revenue sources, including property taxes, sales taxes, fees, and fines. Costs to the City General Fund are associated with a variety of services, such as public safety, parks, recreation and arts, and general government services.

## 5.6 CEQA Compliance and Mitigation Monitoring

The California Environmental Quality Act (CEQA) classifies a specific plan as a "project" which is subject to environmental review. An Environmental Impact Report (EIR) is required prior to adoption of this Specific Plan to analyze potentially significant environmental impacts of the project, discuss feasible alternatives, and recommend feasible mitigation measures in compliance with the provision of CEQA. This EIR will analyze the entire Specific Plan and address potential impacts associated with the development of the Specific Plan area. The EIR includes recommended mitigation measures and analyzes implementing actions for the development. The EIR will fulfill the requirements for environmental documentation for most subsequent discretionary and ministerial applications for development within the Specific Plan area.

An approved Mitigation Monitoring Program shall insure that the Specific Plan complies with all applicable environmental mitigation and permit requirements. The final Mitigation Monitoring and Reporting Program shall be adopted with EIR certification.

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# APPENDICES

# Appendix A

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## Grading Standards





## **Grading Standards for KPC Coachella**

Grading for KPC Coachella will utilize the standards contained in the County of Riverside Grading Ordinance, (Ordinance 457) as it may be amended. Standards shall be those in effect at the time of grading permit.

**DEPARTMENT OF BUILDING AND SAFETY  
COUNTY OF RIVERSIDE  
GRADING NOTES (2010 CBC)**

**GENERAL**

1. All grading shall conform to the 2010 California Building Code Chapters 17, 18 & Appendix Chapter- J as amended by Ord. 457.
2. All property corners shall be clearly delineated in the field prior to commencement of any construction/grading.
3. All work under this grading permit shall be limited to work within the property lines. All work within the road Right-of-Way will require separate plans and a separate review/approval (permit) from the Transportation Department.
4. Grading shall be done under the supervision of a soils engineer in conformance with recommendations of the preliminary soils investigation by \_\_\_\_\_ dated \_\_\_\_\_.
5. Compacted fill to support any structures shall comply with section 1803.5. Projects without preliminary soils report shall have detailed specifications satisfying the requirements in section 1803.5 prepared by the EOR.
6. The contractor shall notify the Building and Safety Department at least 24 hours in advance to request finish lot grade and drainage inspection. This inspection must be approved prior to building permit final inspection for each lot.
7. The contractor shall notify Underground Service Alert, two days before digging at 1-800-422-4133.

**CUT / FILL**

8. Maximum cut and fill slope = 2:1.
9. No fill shall be placed on existing ground until the ground has been cleared of weeds, debris, topsoil and other deleterious material. Fills should be placed in thin lifts (8-inch max or as recommended in soils report), compacted and tested as grading process until final grades are attained. All fills on slopes steeper than 5 to 1 (H/V) and a height greater than 5 feet shall be keyed and benched into firm natural soil for full support. The bench under the toe must be 10 feet wide min.
10. The slope stability for cut and fill slopes over 30' in vertical height, or slopes steeper than 2:1 must be verified with a factor of safety of at least 1.5.
11. No rock or similar irreducible material with a maximum dimension greater than 12 inches shall be buried or placed in fills closer than 10 feet to the finished grade.

**DRAINAGE and EROSION/ DUST CONTROL**

12. Drainage across the property line shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility.
13. Provide a slope interceptor drain along the top of cut slopes where the drainage path is greater than 40 feet towards the cut slope.
14. Provide 5' wide by 1' high berm along the top of all fill slopes steeper than 3:1.
15. The ground immediately adjacent to the building foundation shall be sloped away with 5% min for a min distance of 10 horizontal feet. Swales within 10 feet from building shall have 2% minimum slope.
16. No obstruction of natural water courses shall be permitted.
17. During rough grading operations and prior to construction of permanent drainage structures, temporary drainage control (Best Management Practices, BMPs) shall be provided to prevent ponding water and damage to adjacent properties.
18. Dust shall be controlled by watering or other approved methods.
19. All existing drainage courses on the project site must continue to function. Protective measures and temporary drainage provisions must be used to protect adjoining properties during grading operations.
20. For slopes 3 to 1 (H/V) or steeper:  
All slopes equal to or greater than 3' in vertical height, are required to be planted with grass or rosea ice plant (or equal) ground cover at a maximum spacing of 12" on center. Slopes exceeding 15' in vertical height shall be planted with approved shrubs not to exceed 10' on center, or trees spaced not to exceed 20' on center or shrubs not to exceed 10', or a combination of shrubs and trees not to exceed 15' in addition to the grass or ground cover. Slopes that require planting shall be provided with an in-ground irrigation system equipped with an appropriate backflow device per U.P.C., Chapter 10. The slope planting and irrigation system shall be installed prior to precise grading final.

**COMPLETION OF WORK**

21. A registered Civil Engineer shall prepare final compaction report/ grading report and it shall be submitted for review and approval. The report shall also provide building foundation design parameters including allowable soil pressures, expansion index and remedial measures if  $EI > 20$ , water soluble sulfate content, corrosivity and remedial measures if necessary.

22. Except for non-tract single residential lot grading, the compaction report shall include the special inspection verifications listed in Table 1704.7 of 2010 CBC.
23. A registered Civil Engineer shall submit to the Building and Safety Department written certification of completion of grading in accordance with the approved grading plan prior to requesting inspection and issuance of the building permit. Certification shall include line grade, surface drainage, elevation, and location of permitted grading on the lot.

**NPDES: When one acre or more is being disturbed:**

1. Construction site Best Management Practices (BMPs) for the management of storm water and non-storm water discharges shall be documented on the grading plan which thereby becomes the site Storm Water Pollution Prevention Plan (SWPPP). Arrangements shall be made by the developer to retain the SWPPP on the jobsite throughout the time of construction. The implementation and maintenance of site BMPs is required to minimize jobsite erosion and sedimentation. Certain BMPs may be required to remain in place throughout the year to minimize erosion and sedimentation. Arrangements shall be made by the developer to maintain those BMPs throughout the time of construction.
2. Erosion control BMPs shall be implemented and maintained to minimize the entrainment of soil in runoff from disturbed soil areas on construction sites.
3. Sediment control BMPs shall be implemented and maintained to minimize the transport of soil from the construction site.
4. Grading shall be phased to limit the amount of disturbed areas exposed to the extent feasible.
5. Areas that are cleared and graded shall be limited to only the portion of the site that is necessary for construction. The construction site shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading and the use of temporary and permanent soil stabilization.
6. Once disturbed, slopes (temporary or permanent) shall be stabilized if they will not be worked within 21 days. During the storm season, all slopes shall be stabilized prior to a predicted storm event. Construction sites shall be re-vegetated as early as feasible after soil disturbance.
7. Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
8. Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than storm water (non-storm water discharges) are prohibited, except as authorized by an individual NPDES permit, the statewide General Permit-Construction Activity. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, and asbestos fibers, paint flakes or stucco fragments; fuels, oils lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential storm water runoff, with ultimate disposal in accordance with local, state and federal requirements.
9. Runoff from equipment and vehicle washing shall be contained at construction site and must not be discharged to receiving waters or the local storm drain system.
10. Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
11. All construction contractors and subcontractor personnel are to be made aware of the required BMPs and good housekeeping measures for the project site and any associated construction staging areas.
12. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollutant Discharge Elimination System (NPDES) permit from the Regional Water Quality Control Board.
13. BMPs shall be maintained at all times. In addition, BMPs shall be inspected prior to predicted storm events and following storm events.
14. At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in trash or recycle bins.